

PROPOSED DEVELOPMENT

NEXTDC S3 DATA CENTRE

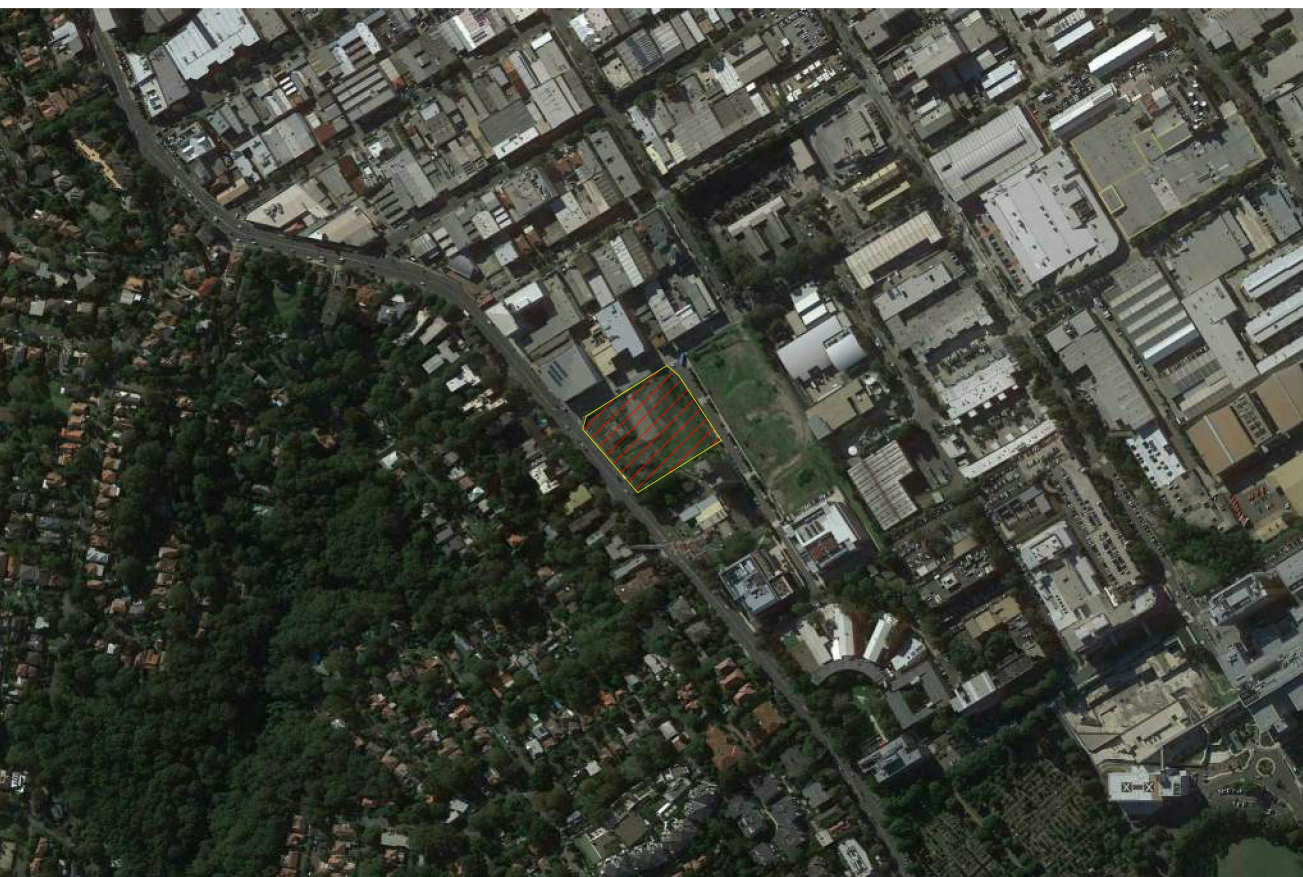
SECTION 4.55

LOT 6, 219-247 PACIFIC HIGHWAY

ARTARMON, NSW. 2046

F

SECTION 4.55 DRAWING LIST				
SHEET NUMBER	SHEET NAME	ISSUE DESCRIPTION	REV	DATE
DA000	COVER SHEET	SECTION 4.55 - ISSUE FOR APPROVAL	F	20.03.2020
DA003	SITE ANALYSIS PLAN	ISSUE FOR COMMENT	D	28.02.2020
DA005	SITE PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	E	20.03.2020
DA006	CALCULATIONS	SECTION 4.55 - ISSUE FOR APPROVAL	E	20.03.2020
DA098	STAGING PLAN	ISSUE FOR DA	C	07.12.2018
DA099	BASEMENT PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	O	20.03.2020
DA100	LEVEL 1 PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	N	20.03.2020
DA101	LEVEL 2 PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	M	20.03.2020
DA102	LEVEL 3 PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	N	20.03.2020
DA103	LEVEL 4 PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	M	20.03.2020
DA104	LEVEL 5 PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	K	20.03.2020
DA105	LEVEL 6 PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	K	20.03.2020
DA106	LEVEL 7 PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	K	20.03.2020
DA107	LEVEL 8 PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	K	20.03.2020
DA109	ROOF PLAN	SECTION 4.55 - ISSUE FOR APPROVAL	I	20.03.2020
DA200	NORTH ELEVATION (BROADCAST WAY)	SECTION 4.55 - ISSUE FOR APPROVAL	E	20.03.2020
DA201	EAST ELEVATION	SECTION 4.55 - ISSUE FOR APPROVAL	E	20.03.2020
DA202	SOUTH ELEVATION (PACIFIC HIGHWAY)	SECTION 4.55 - ISSUE FOR APPROVAL	E	20.03.2020
DA203	WEST ELEVATION (CAMPBELL STREET)	SECTION 4.55 - ISSUE FOR APPROVAL	E	20.03.2020
DA250	SECTION 1	SECTION 4.55 - ISSUE FOR APPROVAL	H	20.03.2020
DA251	SECTION 2	SECTION 4.55 - ISSUE FOR APPROVAL	H	20.03.2020
DA252	SECTION 3	SECTION 4.55 - ISSUE FOR APPROVAL	H	20.03.2020
DA254	SECTION 4	SECTION 4.55 - ISSUE FOR APPROVAL	F	20.03.2020
DA601	PHOTOMONTAGE 01	SECTION 4.55 - ISSUE FOR APPROVAL	D	20.03.2020
DA602	PHOTOMONTAGE 02	SECTION 4.55 - ISSUE FOR APPROVAL	D	20.03.2020
DA603	PHOTOMONTAGE 03	SECTION 4.55 - ISSUE FOR APPROVAL	C	20.03.2020
DA604	PHOTOMONTAGE 04	SECTION 4.55 - ISSUE FOR APPROVAL	D	20.03.2020
DA610	SHADOW STUDY-COMPLIANT SCHEME	ISSUE FOR PRE-DA	B	21.09.2018
DA611	SHADOW STUDY-PROPOSED SCHEME	AMENDED ISSUE FOR DA	C	12.12.2018
DA612	SHADOW STUDY-DETAILED 3D	AMENDED ISSUE FOR DA	C	12.12.2018
DA613	SHADOW STUDY-IMPACT ON CENTRAL PARKLAND	ISSUE FOR INFORMATION	C	17.12.2018



Issue	Date	Description
A	21.09.2018	ISSUE FOR PRE-DA
B	25.10.2018	ISSUE FOR COST
C	07.12.2018	ISSUE FOR DA
D	12.12.2018	AMENDED ISSUE FOR DA
E	28.02.2020	ISSUE FOR COMMENT
F	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Key Plan

GREENBOX

+61 2 8069 8930
LEVEL 25
25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA
GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 098
ISO 9001 CERTIFIED QUALITY SYSTEM

- Use written dimensions only
- Do not scale from drawing
- Contractors shall confirm all dimensions on-site prior to commencing any work or producing any shop drawings
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- Nominated Architect - Gerard Page, NSW reg No.7247, NZ reg No.3715, Vic reg No.17664, SA reg No.3061, QLD reg No.4538, WA reg No.2489

Client

NEXTDC LIMITED



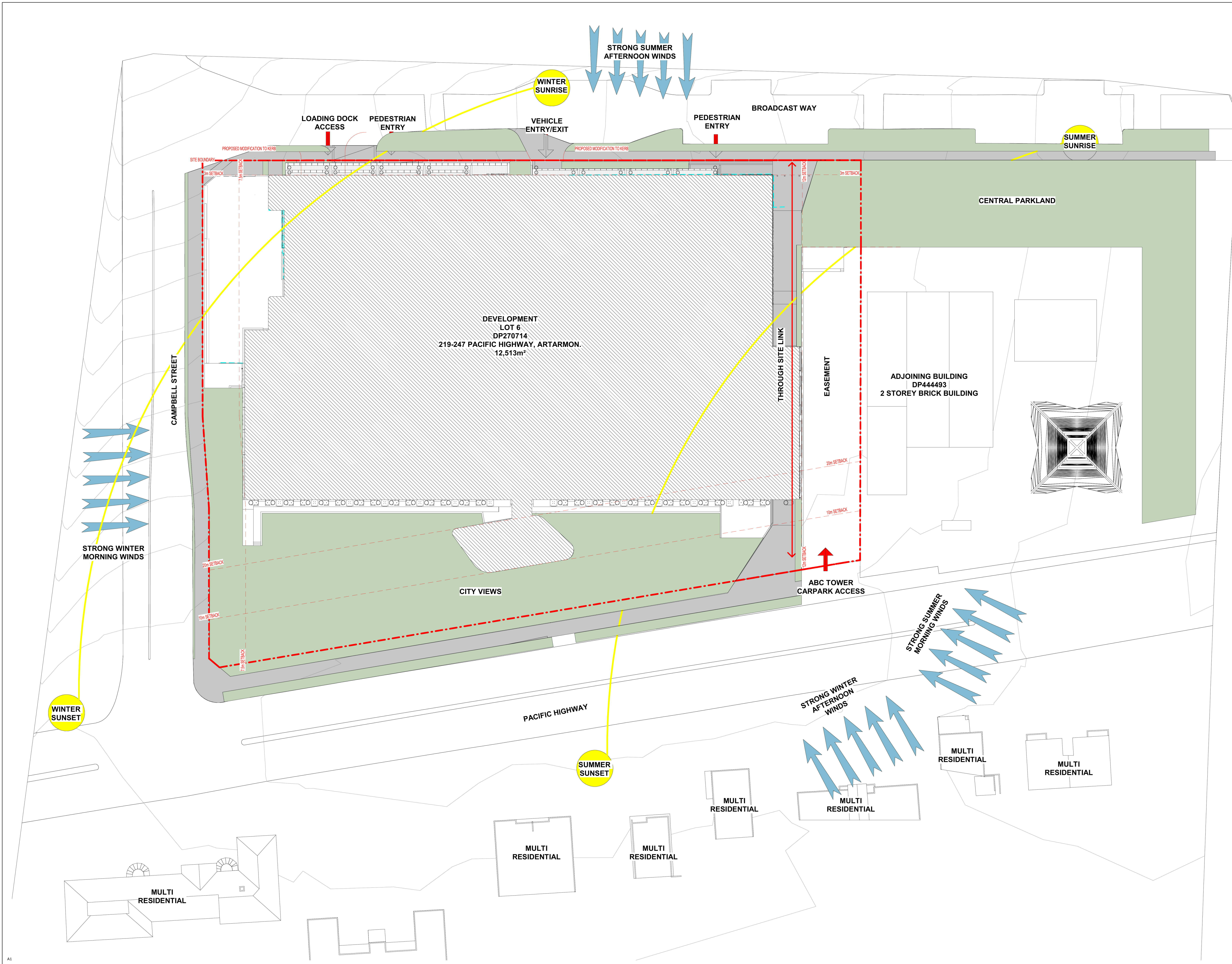
NEXTDC

Project

S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

Drawn By	CO	Scale	1 : 500 @ A1
Checked By	GP	Approved By	GP
Date	20.03.2020	Job Number	180038
Project Status	S.4.55		
Drawing Title	COVER SHEET		
Drawing Number	S3- FAC- AR- DRG- DA000	Issue	[F]





Issue	Date	Description
A	21.09.2019	ISSUE FOR PRE-DA
B	26.09.2019	ISSUE FOR PRE-DA
C	07.12.2019	ISSUE FOR DA
D	28.02.2020	ISSUE FOR COMMENT

Key Plan

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NEXTDC

Project

S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

Drawn By

VG

Scale

1 : 350 @ A1

Checked By

GP

Approved By

GP

Date

28.02.2020

Job Number

180038

Project Status

PRE DA ISSUE

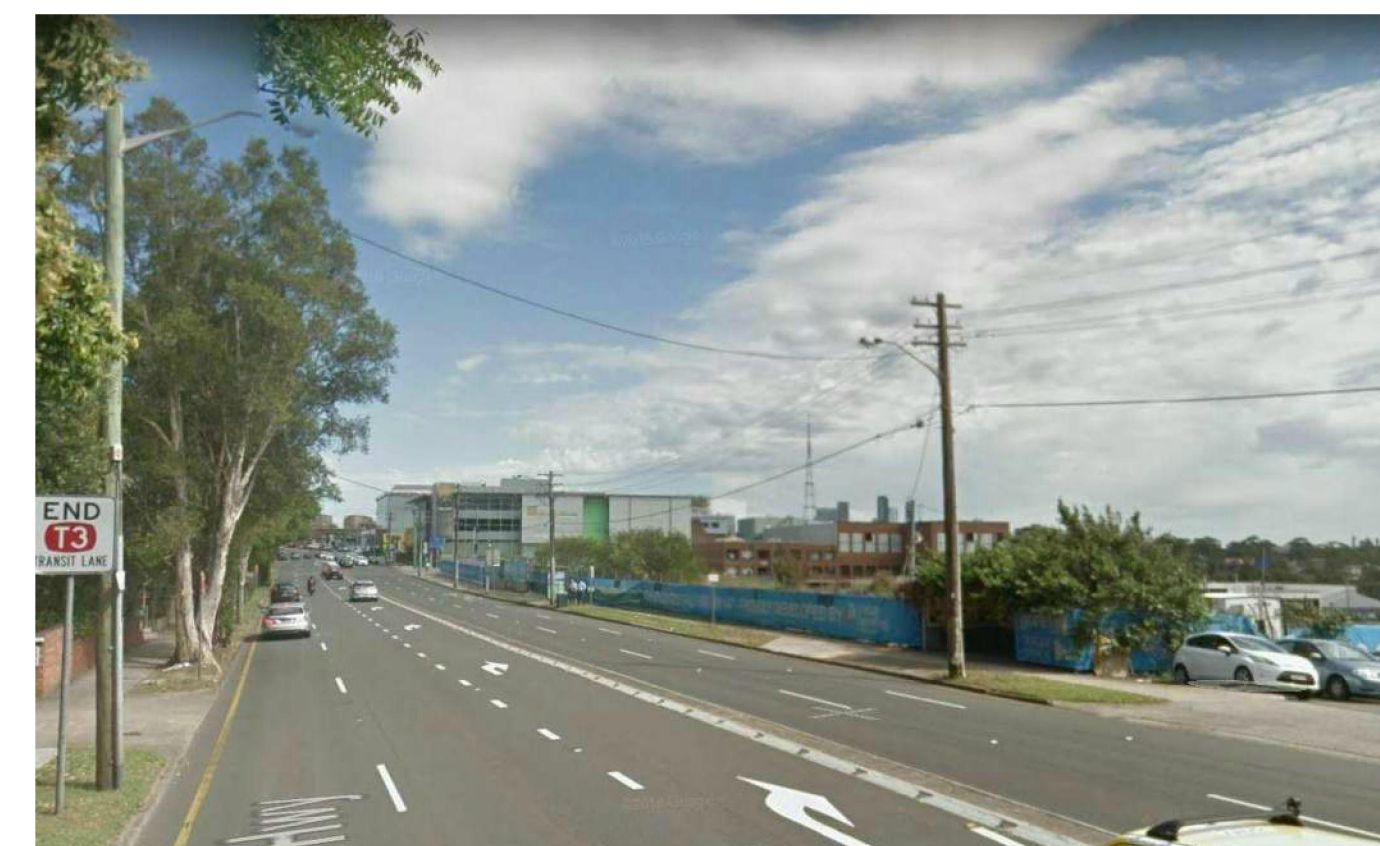
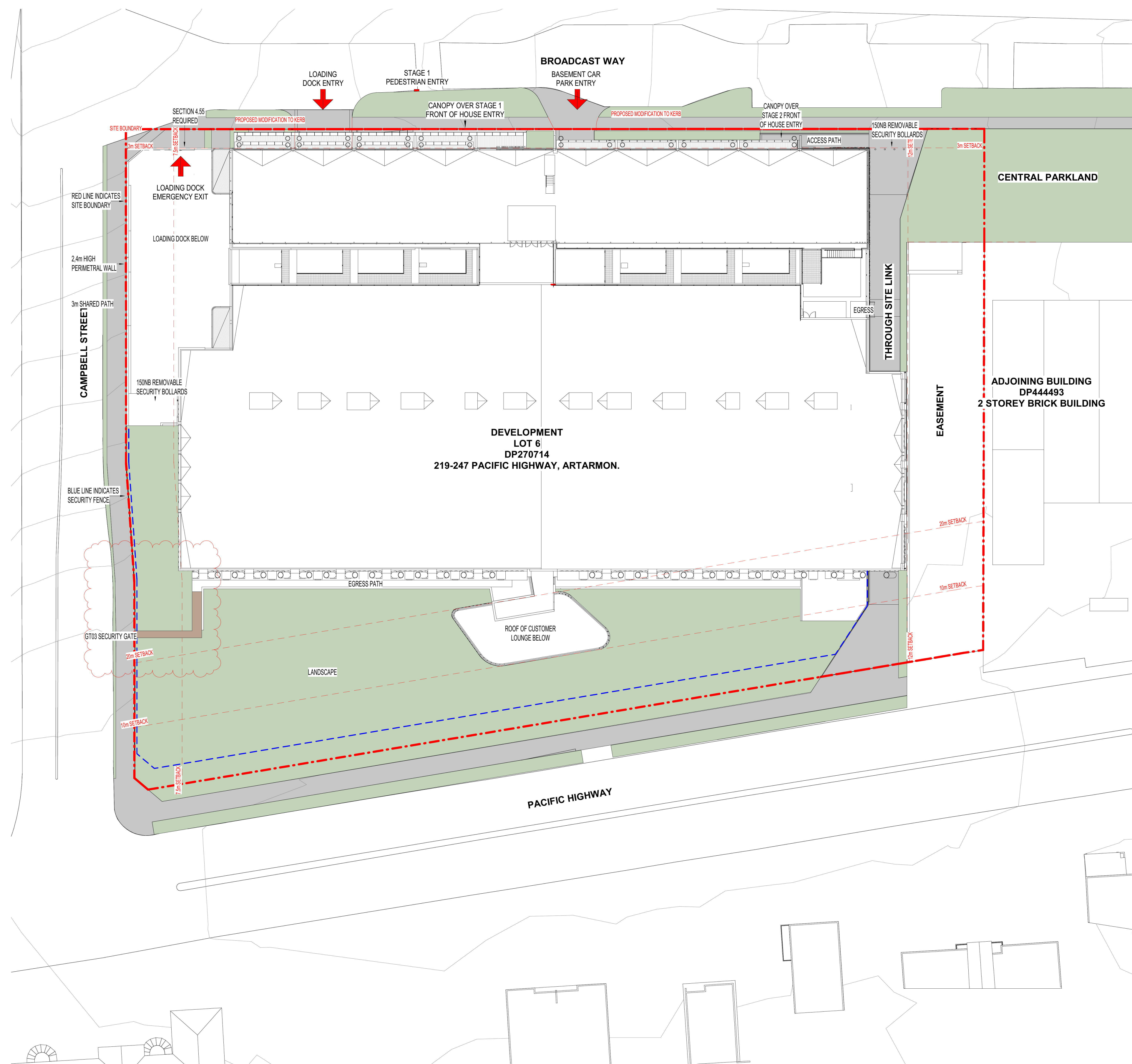
Drawing Title

SITE ANALYSIS PLAN

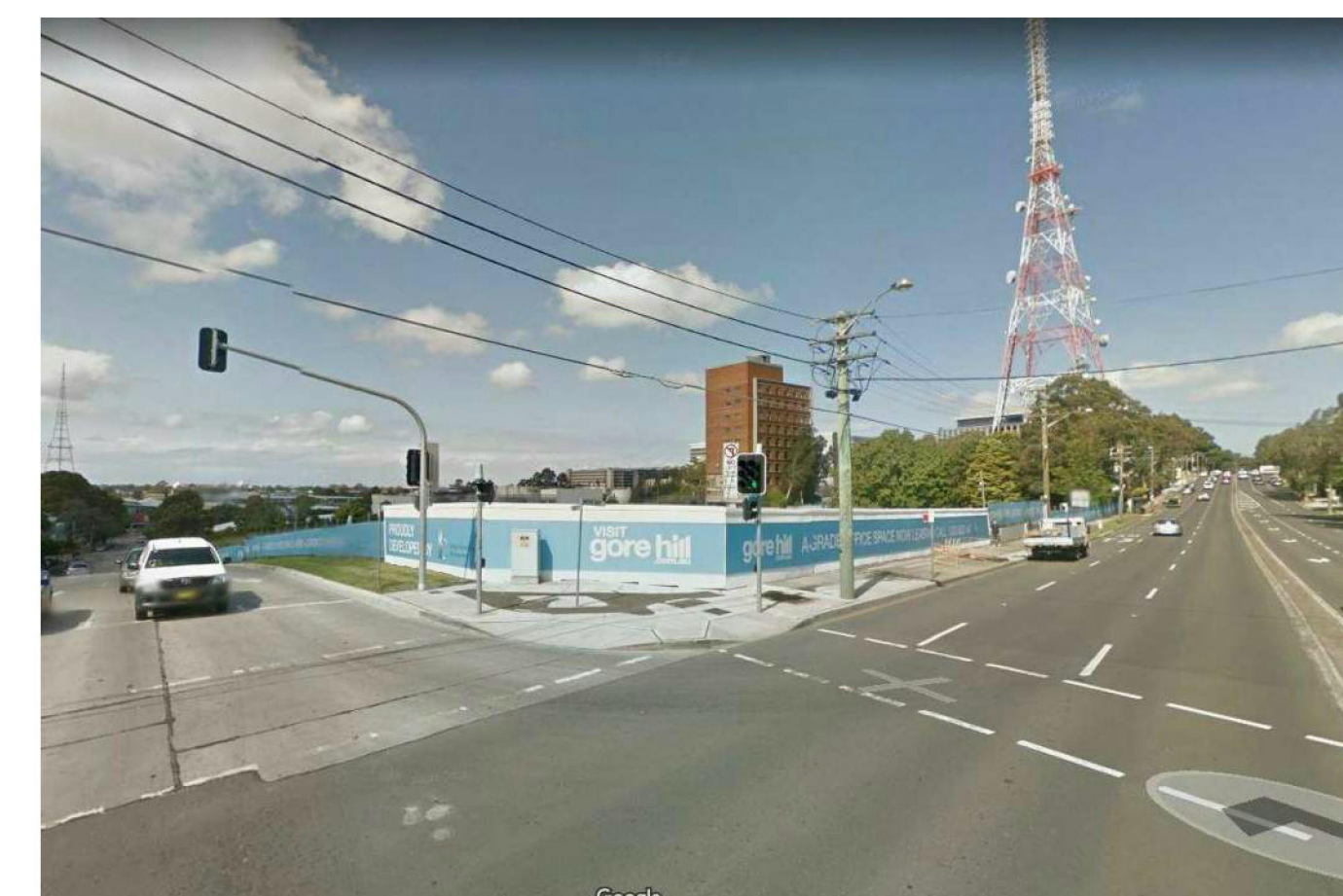
Drawing Number

S3- FAC- AR- DRG- DA003 [D]

Issue



VIEW 01 (SOURCE - GOOGLE MAPS)



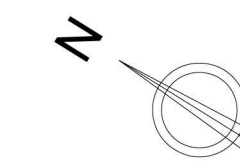
VIEW 02 (SOURCE - GOOGLE MAPS)



VIEW 03 (SOURCE - GOOGLE MAPS)



VIEW 04 (SOURCE - GOOGLE MAPS)



Issue	Date	Description
A	21.09.2018	ISSUE FOR PRE-DA
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C	07.12.2018	ISSUE FOR DA
D	28.02.2020	ISSUE FOR COMMENT
E	20.03.2020	SECTION 4.55- ISSUE FOR APPROVAL



Key Plan

GREENBOX

+61 2 8069 8930
LEVEL 25
25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA

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ABN: 79 139 779 098

ISO 9001 CERTIFIED QUALITY SYSTEM

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Client	NEXTDC LIMITED
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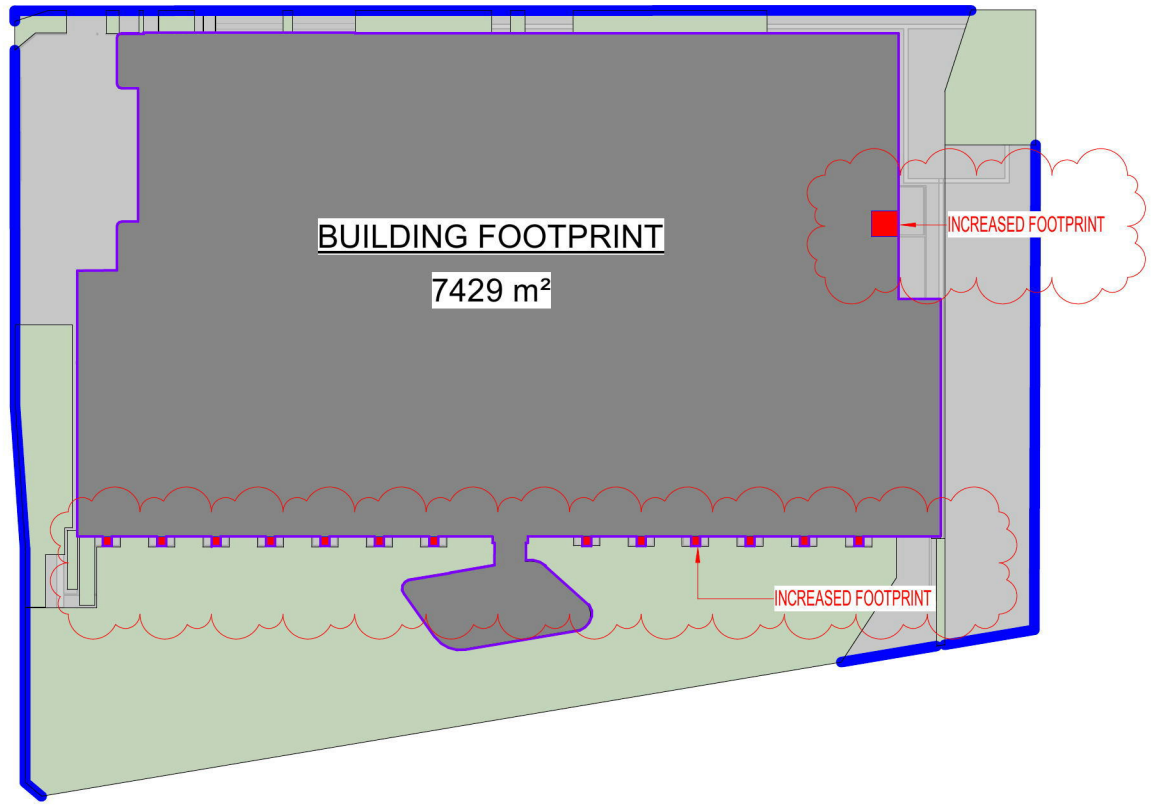
NEXT DC

Project
S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

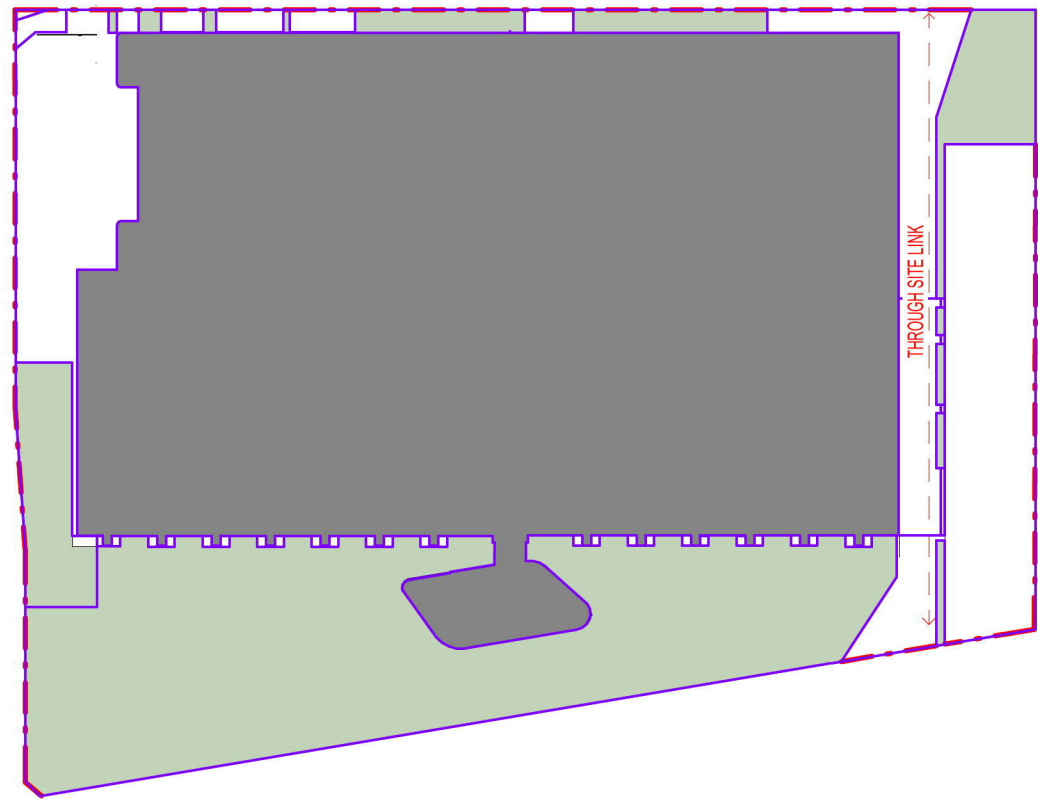
Drawn By CO	Scale As indicated @ A1
Checked By GP	Approved By GP
Date 20.03.2020	Job Number 180038
Project Status S.4.55	

Drawing Title
SITE PLAN

Drawing Number	Issue
S3- FAC- AR- DRG- DA005	[E]



7 BUILDING FOOTPRINT
1 : 1000

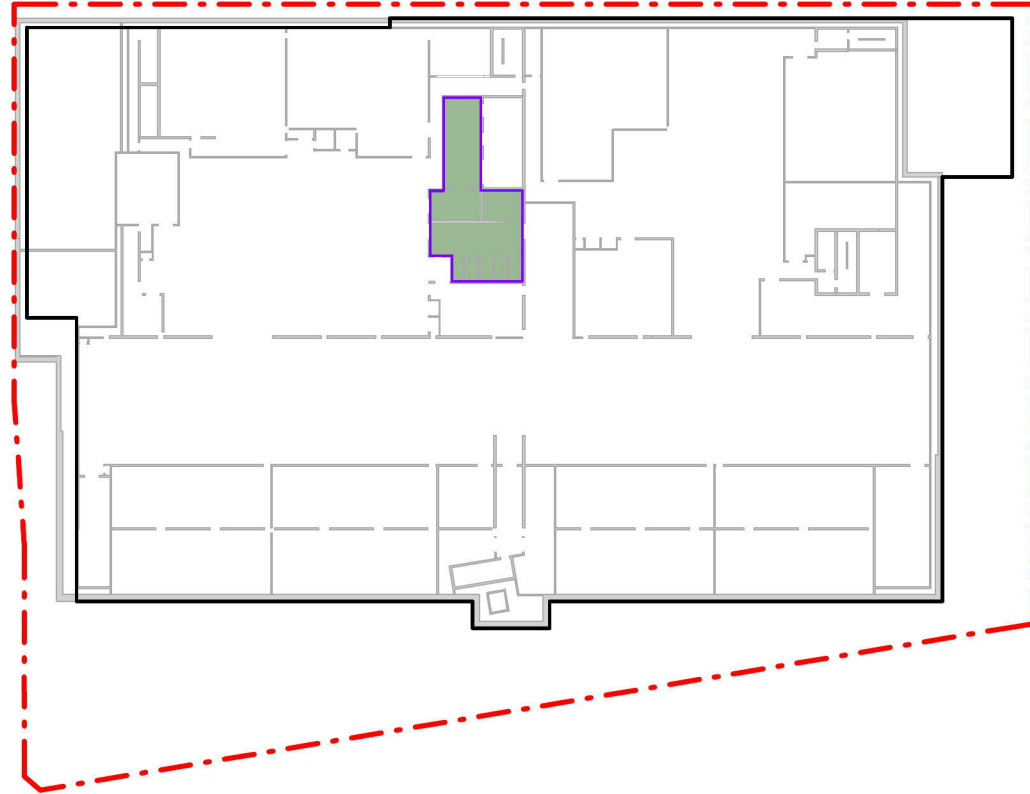


6 LANDSCAPING
1 : 1000

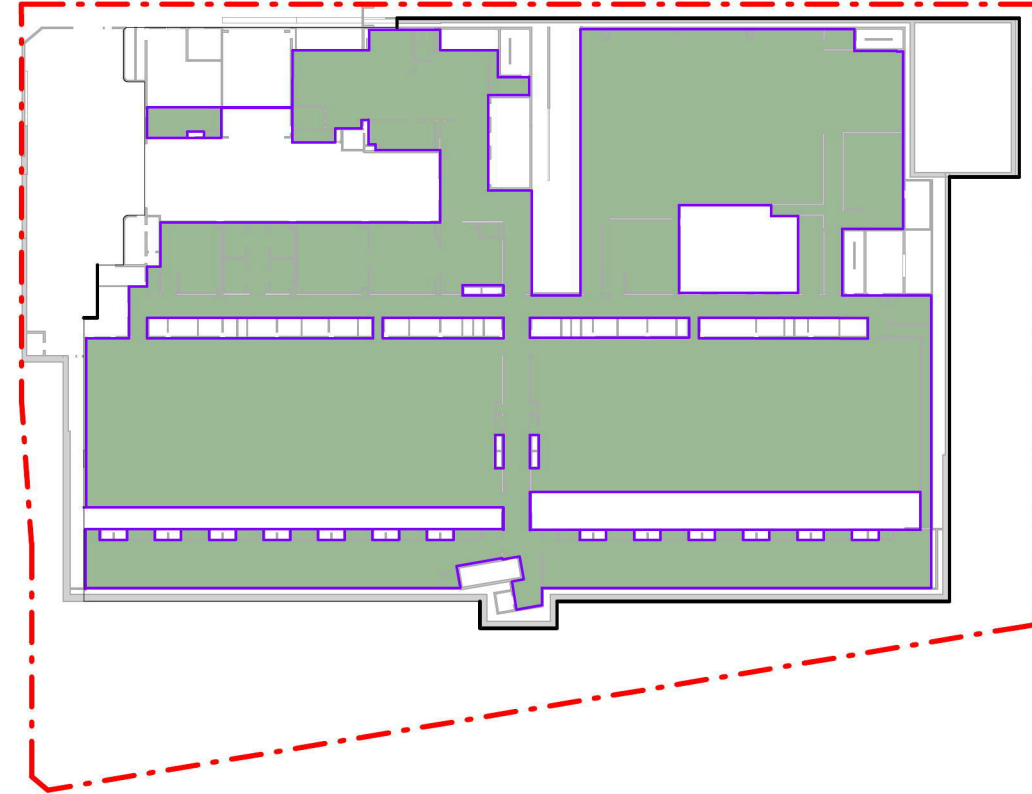
Area Schedule		
Name	Area	%
BUILDING FOOTPRINT*	7429 m²	59.31%
LANDSCAPED AREA**	3157 m²	25.20%
OTHER	1940 m²	15.49%
TOTAL SITE	12513 m²	100%

*MAXIMUM ALLOWED FOOTPRINT - 60% OF TOTAL SITE AREA
**LANDSCAPED AREA REQUIRED - 25% OF TOTAL SITE AREA

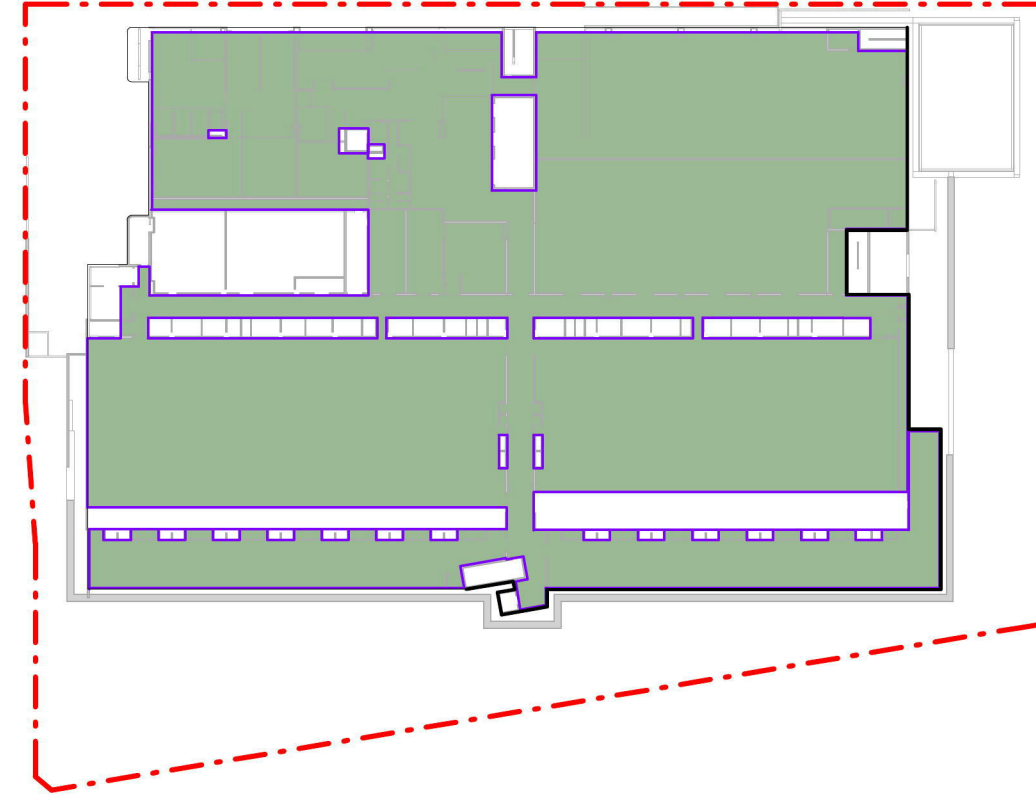
LANDSCAPED AREA DEFINITION: a part of a site which is not occupied by any building and is available for use and enjoyment by the occupants of a building erected on the site. It includes areas used for swimming pools, open-air recreation areas, gardens, lawns, shrubs or trees, but does not include areas used for driveways, parking areas, drying yards, garbage storage areas or public open space.



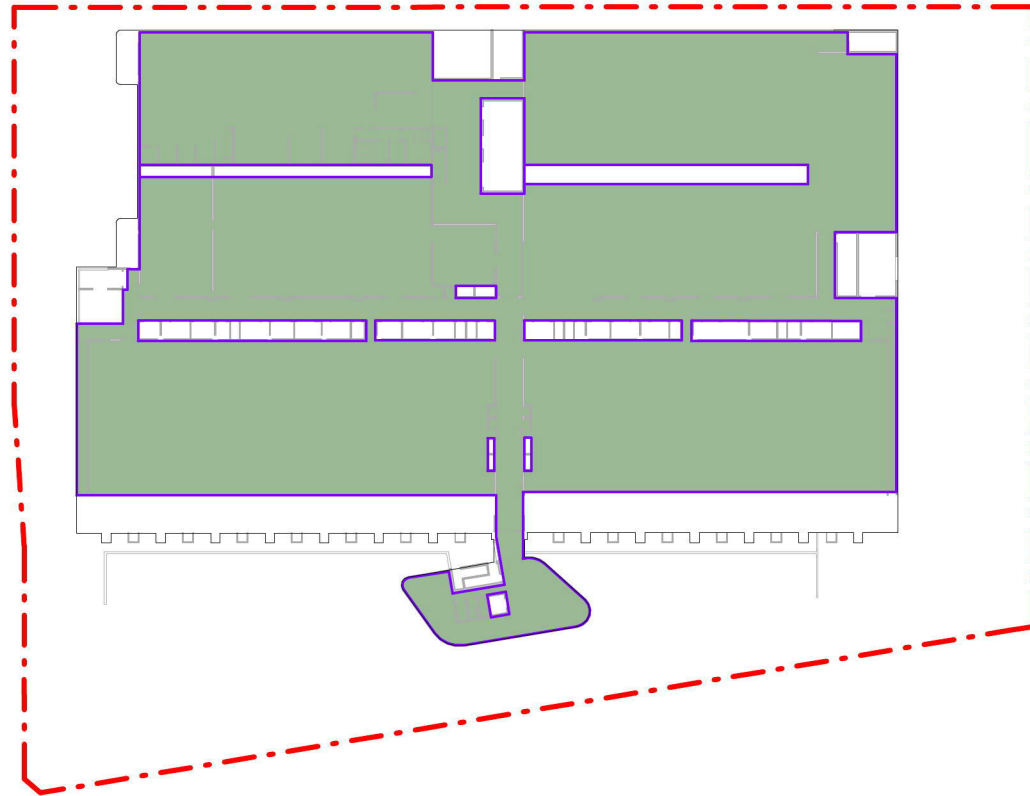
1 BASEMENT
1 : 1000



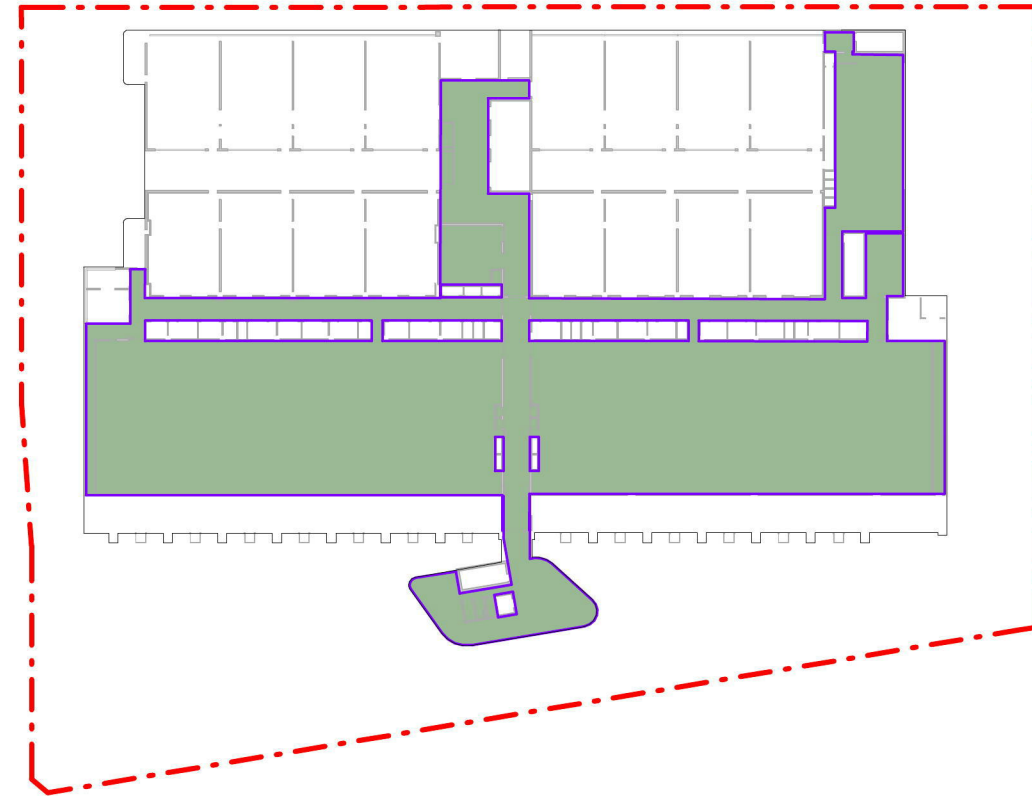
2 LEVEL 1
1 : 1000



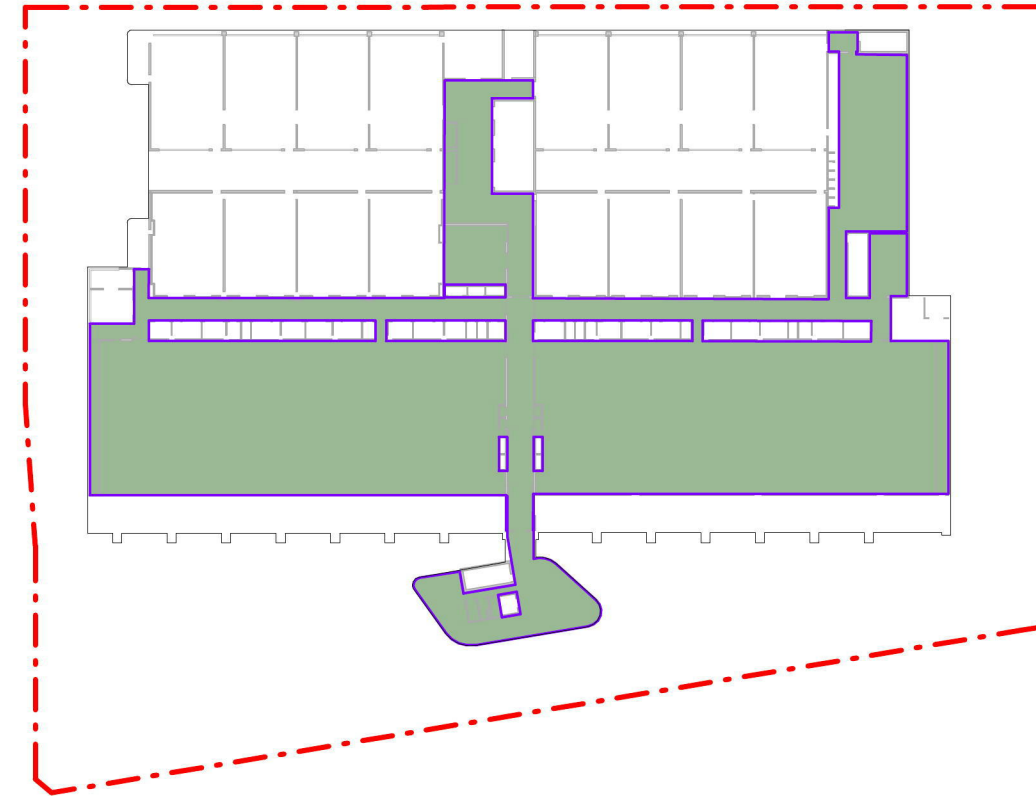
3 LEVEL 2
1 : 1000



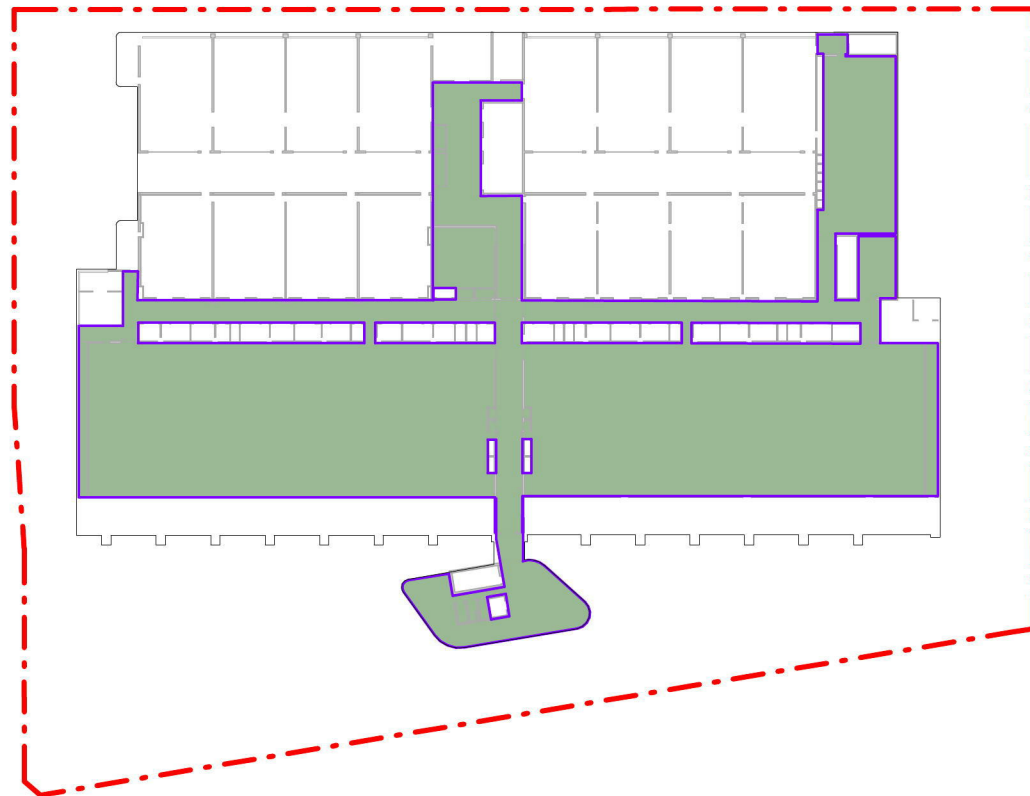
5 LEVEL 3
1 : 1000



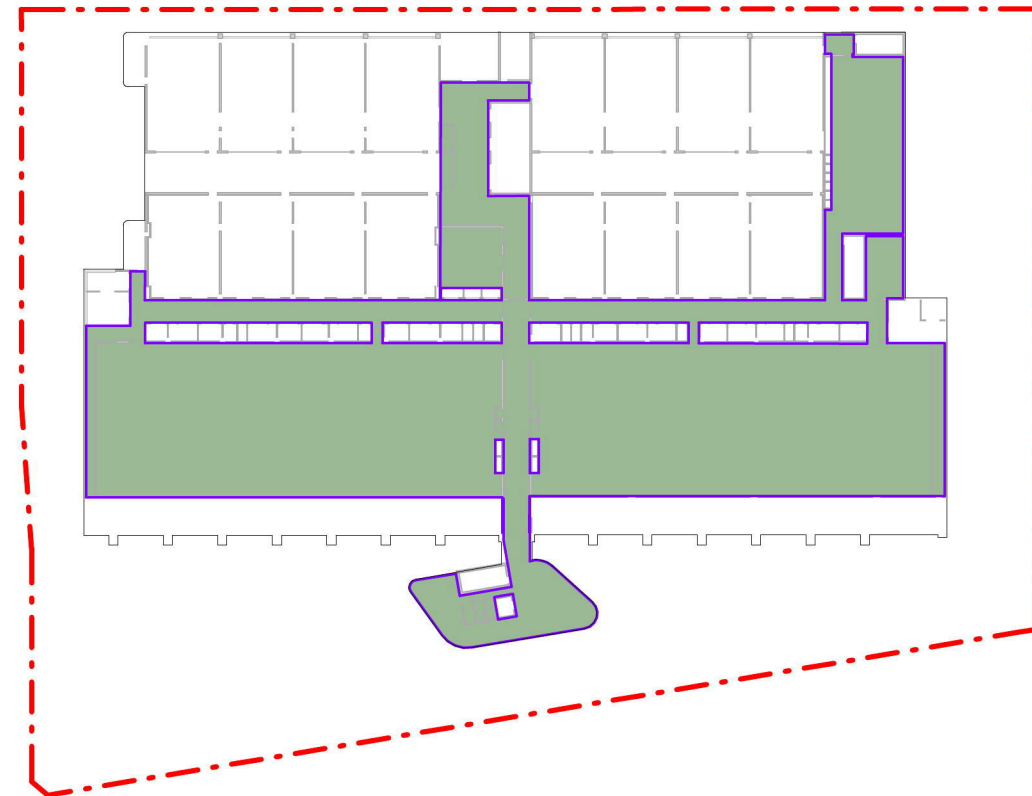
4 LEVEL 4
1 : 1000



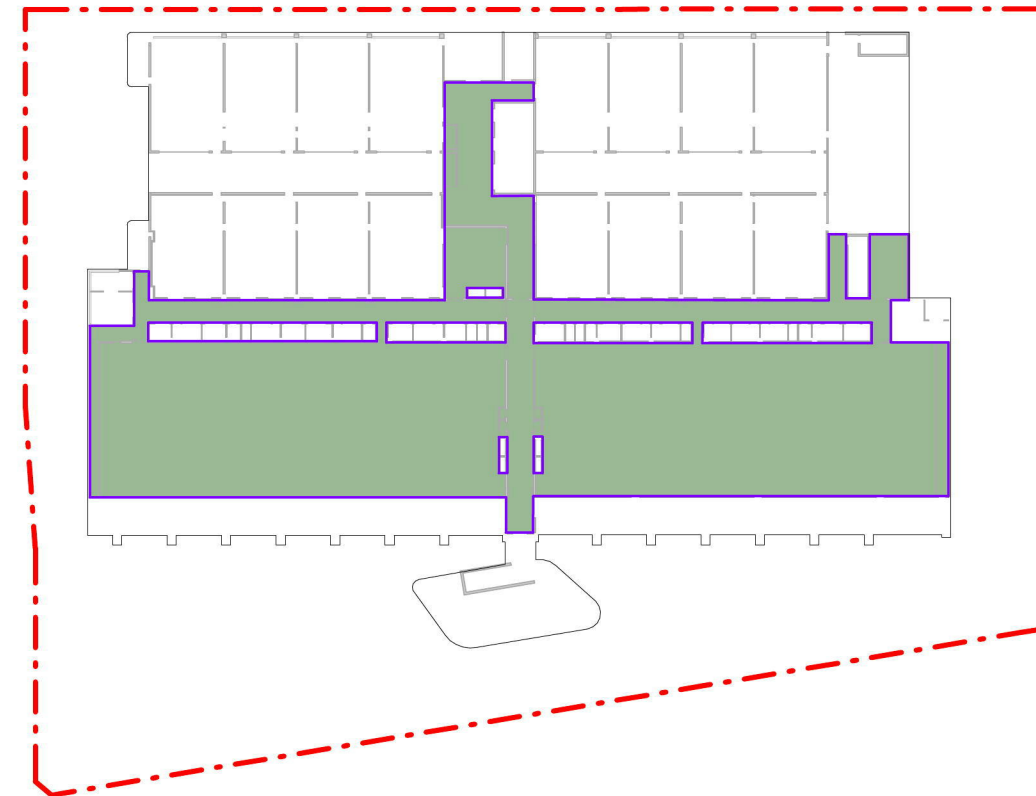
9 LEVEL 5
1 : 1000



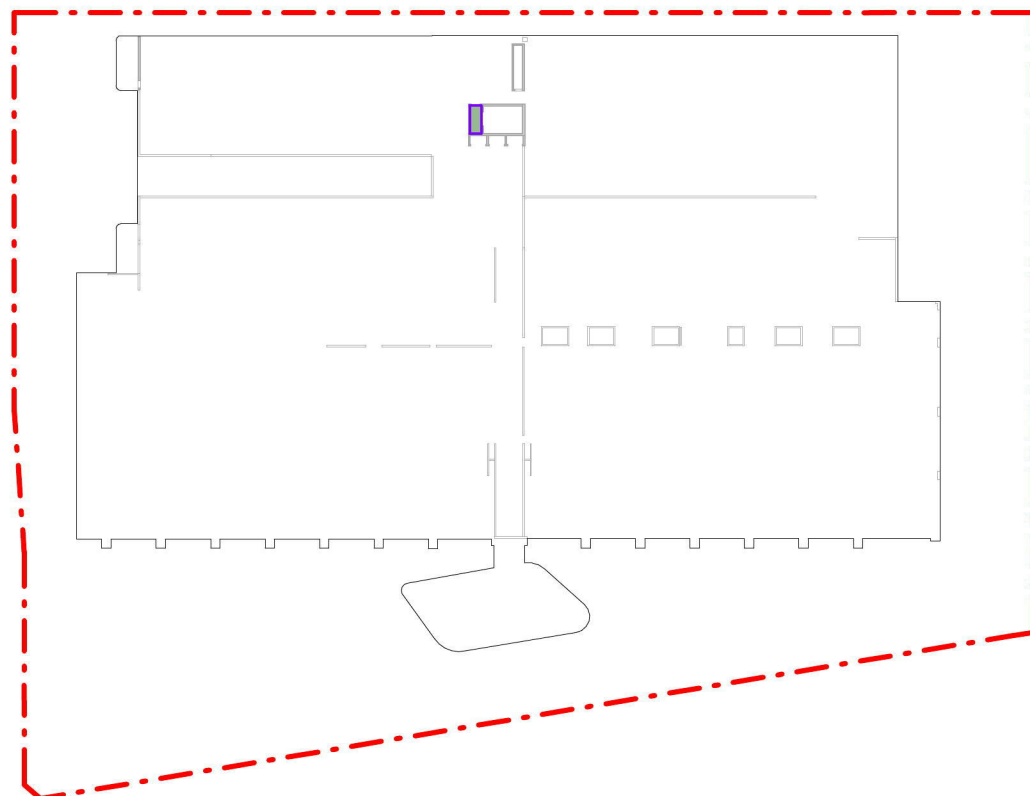
10 LEVEL 6
1 : 1000



11 LEVEL 7
1 : 1000

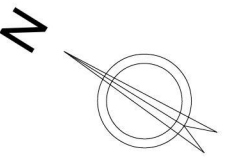


8 LEVEL 8
1 : 1000



12 PLANT ROOF
1 : 1000

GROSS FLOOR AREA		
LEVELS	AREA	
	M²	
BASEMENT	190	*+64 m² compared to DA
LEVEL 1	5524	*+101 m² compared to DA
LEVEL 2	6064	*+704 m² compared to DA
LEVEL 3	5718	*+2240 m² compared to DA
LEVEL 4	3354	*-389 m² compared to DA
LEVEL 5	3326	*-759 m² compared to DA
LEVEL 6	3330	*-71 m² compared to DA
LEVEL 7	3323	*-78 m² compared to DA
LEVEL 8	2964	*+52 m² compared to DA
ROOF	6	*+6 m² compared to DA
	33799 M²	*+3096 m² compared to DA
TOTAL SITE	12513 M²	
TOTAL FSR	2.70:1	*+0.40 compared to DA
MAX PERMISSIBLE FSR	4.5:1	



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A	21.09.2018	ISSUE FOR PRE-DA
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C	07.12.2018	ISSUE FOR DA
D	28.02.2020	ISSUE FOR COMMENT
E	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Key Plan

GREENBOX

+61 2 8069 8930
LEVEL 25
25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA
GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 098
ISO 9001 CERTIFIED QUALITY SYSTEM

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Client
NEXTDC LIMITED



NEXTDC

Project
S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

Drawn By
CO
Checked By
GP
Date
20.03.2020
Project Status
S.4.55
Drawing Title
CALCULATIONS
Drawing Number
Issue

Scale
1 : 1000
@ A1

Approved By
GP
Job Number
180038

S3-FAC-AR-DRG-DA006 [E]



EXCLUDED GFA
INCLUDED GFA

GFA INCLUSIVE AREAS - BASEMENT	
Name	Area
SECURE LOBBY	60 m²
GOODS TRAP	27 m²
EOT	73 m²
EOT	30 m²
	190 m²

N - NEXTDC PARKING SPACE
V - VISITOR PARKING SPACE

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	12.09.2018	FOR COORDINATION
D	13.09.2018	FOR COORDINATION
E	21.09.2018	ISSUE FOR PRE-DA
F	16.10.2018	ISSUE FOR INFORMATION
G	25.10.2018	ISSUE FOR COST
H	06.11.2018	ISSUE FOR INFORMATION
I	30.11.2018	FOR INFORMATION
J	07.12.2018	ISSUE FOR DA
K	12.12.2018	AMENDED ISSUE FOR DA
L	04.01.2019	ISSUE FOR INFORMATION
M	20.02.2020	ISSUE FOR COMMENT
N	28.02.2020	ISSUE FOR COMMENT
O	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL
P	06.08.2020	SECTION 4.55 - ISSUE FOR APPROVAL
Q	14.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

GREENBOX

+61 2 8069 8930
LEVEL 25
25 BULGH ST
SYDNEY NSW 2000 AUSTRALIA
GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 098
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Client

NEXTDC LIMITED

NEXTDC

Project

S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW, 2046

Drawn By

CO

Checked By

GP

Date

14.10.2020

Project Status

S.4.55

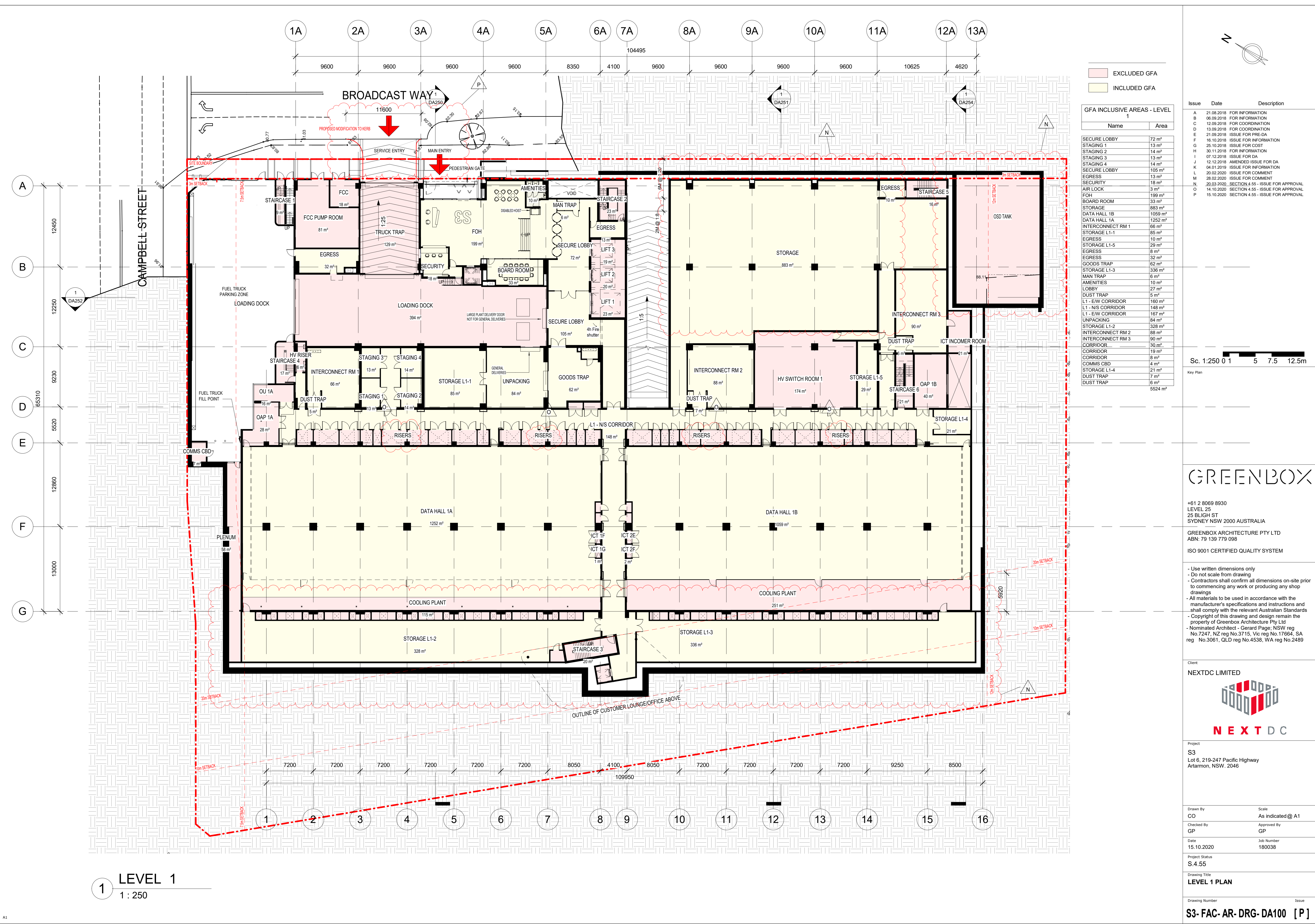
Drawing Title

BASEMENT PLAN

Drawing Number

S3-FAC-AR-DRG-DA099 [Q]

1 BASEMENT
1 : 250



EXCLUDED GFA
INCLUDED GFA

GFA INCLUSIVE AREAS - LEVEL 1	
Name	Area
SECURE LOBBY	72 m²
STAGING 1	13 m²
STAGING 2	14 m²
STAGING 3	13 m²
STAGING 4	14 m²
SECURE LOBBY	105 m²
EGRESS	13 m²
SECURITY	18 m²
AIR LOCK	3 m²
FOH	199 m²
BOARD ROOM	33 m²
STORAGE	883 m²
DATA HALL 1B	1059 m²
DATA HALL 1A	1252 m²
INTERCONNECT RM 1	66 m²
STORAGE L1-1	85 m²
EGRESS	10 m²
STORAGE L1-5	29 m²
EGRESS	8 m²
EGRESS	32 m²
GOODS TRAP	62 m²
STORAGE L1-3	336 m²
MAN TRAP	6 m²
AMENITIES	10 m²
LOBBY	27 m²
DUST TRAP	5 m²
L1 - EW CORRIDOR	160 m²
L1 - N/S CORRIDOR	148 m²
L1 - EW CORRIDOR	167 m²
UNPACKING	84 m²
STORAGE L1-2	328 m²
INTERCONNECT RM 2	88 m²
INTERCONNECT RM 3	90 m²
CORRIDOR	30 m²
CORRIDOR	19 m²
CORRIDOR	8 m²
COMMS CBD	4 m²
STORAGE L1-4	21 m²
DUST TRAP	7 m²
DUST TRAP	6 m²
	5524 m²

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P	15.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

GREENBOX

+61 2 8069 8930
LEVEL 25
25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA
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Client

NEXTDC LIMITED



NEXTDC

Project

S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

Drawn By

CO

Checked By

GP

Date

15.10.2020

Project Status

S.4.55

Drawing Title

LEVEL 1 PLAN

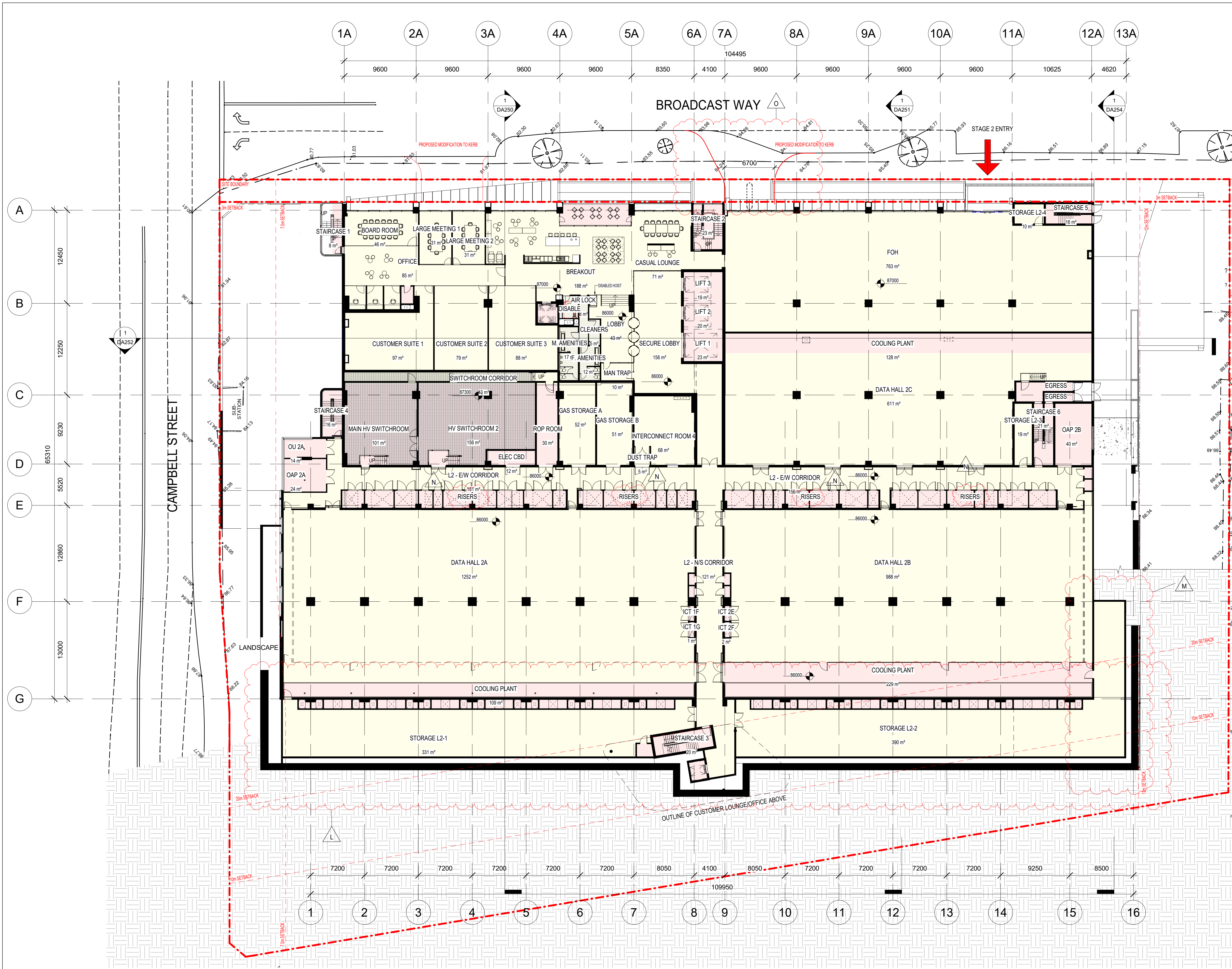
Drawing Number

S3-FAC-AR-DRG-DA100

Issue

[P]

1 LEVEL 1
1 : 250



EXCLUDED GFA	
INCLUDED GFA	
GFA INCLUSIVE AREAS - LEVEL 2	
Name	Area
DATA HALL 2B	988 m²
DATA HALL 2A	1252 m²
GAS STORAGE A	52 m²
GAS STORAGE B	51 m²
STORAGE L2-3	19 m²
STORAGE L2-2	390 m²
DUST TRAP	5 m²
SWITCHROOM CORRIDOR	43 m²
L2 - N/S CORRIDOR	121 m²
L2 - E/W CORRIDOR	156 m²
L2 - E/W CORRIDOR	181 m²
SECURE LOBBY	156 m²
STORAGE L2-1	331 m²
LOBBY	43 m²
FOH	763 m²
LIFT LOBBY	27 m²
STORAGE L2-4	10 m²
DATA HALL 2C	611 m²
OFFICE	85 m²
CUSTOMER SUITE 1	97 m²
CUSTOMER SUITE 2	79 m²
INTERCONNECT ROOM 4	68 m²
CUSTOMER SUITE 3	88 m²
BREAKOUT	188 m²
MAN TRAP	10 m²
BOARD ROOM	46 m²
LARGE MEETING 1	31 m²
AIR LOCK	8 m²
QUIET ROOM	7 m²
CASUAL LOUNGE	71 m²
DISABLE	6 m²
QUIET ROOM	7 m²
M. AMENITIES	17 m²
F. AMENITIES	12 m²
CLEANERS	5 m²
LARGE MEETING 2	31 m²
QUIET ROOM	8 m²
	6064 m²

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O	15.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

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Client
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NEXTDC

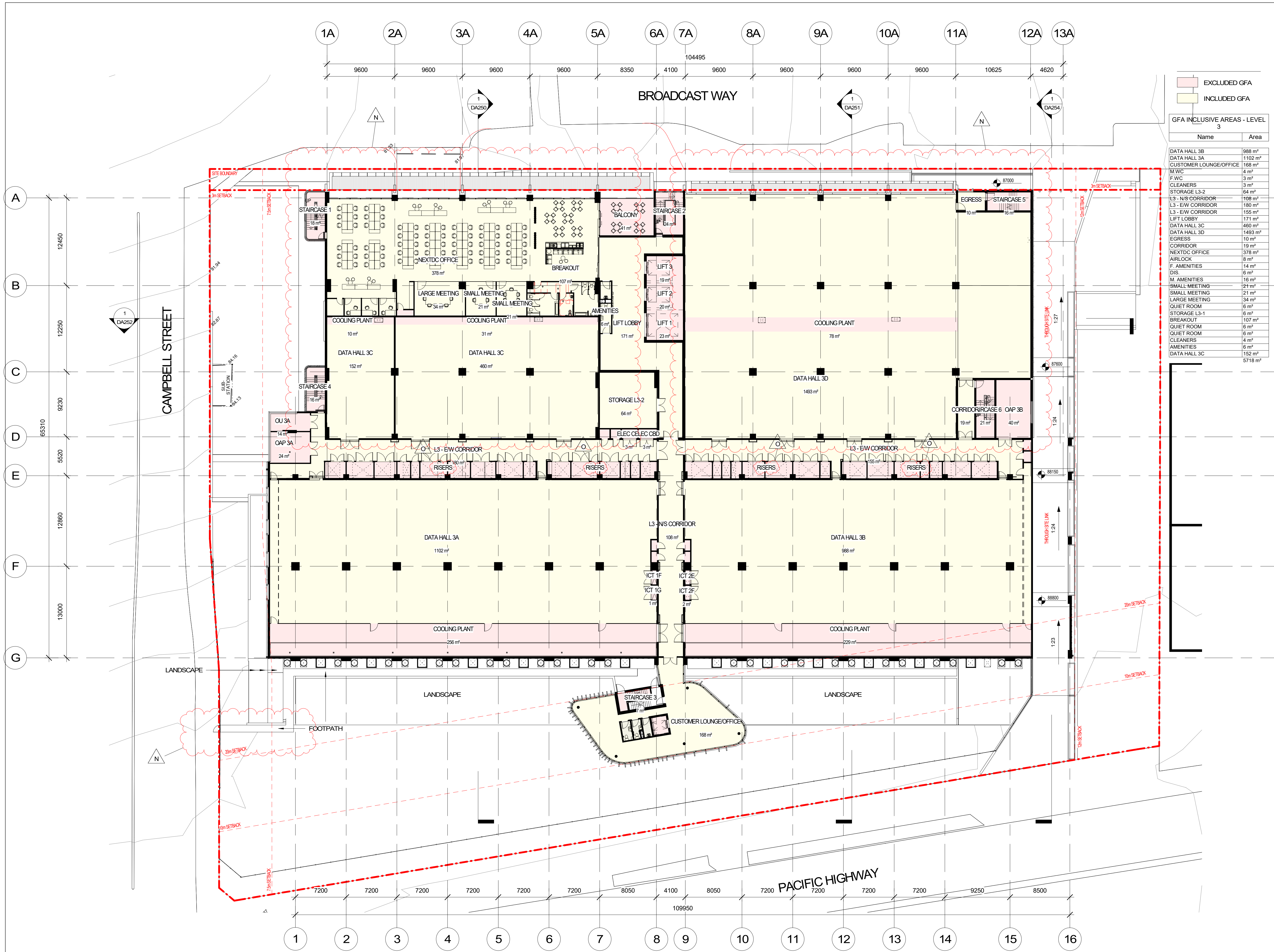
Project
S3
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Artarmon, NSW. 2046

Drawn By CO	Scale As indicated @ A1
Checked By GP	Approved By GP
Date 15.10.2020	Job Number 180038

Project Status
S.4.55
Drawing Title
LEVEL 2 PLAN

Drawing Number	Issue
S3-FAC-AR-DRG-DA101	[0]

1 LEVEL 2
1 : 250



GFA INCLUSIVE AREAS - LEVEL 3	
Name	Area
DATA HALL 3B	988 m²
DATA HALL 3A	1102 m²
CUSTOMER LOUNGE/OFFICE	168 m²
M.W.C	4 m²
F.W.C	3 m²
CLEANERS	3 m²
STORAGE L3-2	64 m²
L3 - N/S CORRIDOR	108 m²
L3 - E/W CORRIDOR	155 m²
LIFT LOBBY	171 m²
DATA HALL 3C	460 m²
DATA HALL 3D	1493 m²
EGRESS	10 m²
CORRIDOR	19 m²
NEXTDC OFFICE	378 m²
AIRLOCK	8 m²
F. AMENITIES	14 m²
DIS.	6 m²
M. AMENITIES	16 m²
SMALL MEETING	21 m²
SMALL MEETING	21 m²
LARGE MEETING	34 m²
QUIET ROOM	6 m²
STORAGE L3-1	6 m²
BREAKOUT	107 m²
QUIET ROOM	6 m²
QUIET ROOM	6 m²
CLEANERS	4 m²
AMENITIES	6 m²
DATA HALL 3C	152 m²
	5718 m²

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	13.09.2018	FOR COORDINATION
D	21.09.2018	ISSUE FOR PRE-DA
E	26.09.2018	ISSUE FOR PRE-DA
F	16.10.2018	ISSUE FOR INFORMATION
G	25.10.2018	ISSUE FOR COST
H	30.11.2018	FOR INFORMATION
I	07.12.2018	ISSUE FOR DA
J	04.01.2019	ISSUE FOR INFORMATION
K	12.12.2018	AMENDED ISSUE FOR DA
L	20.02.2020	ISSUE FOR COMMENT
M	28.02.2020	ISSUE FOR COMMENT
N	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL
O	14.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

GREENBOX

+61 2 8069 8930
LEVEL 25
25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA
GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 098
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Client

NEXTDC LIMITED



NEXTDC

Project

S3

Lot 6, 219-247 Pacific Highway
Artamon, NSW, 2046

Drawn By
CO

Scale
As indicated @ A1

Checked By
GP

Approved By
GP

Date
14.10.2020

Job Number
180038

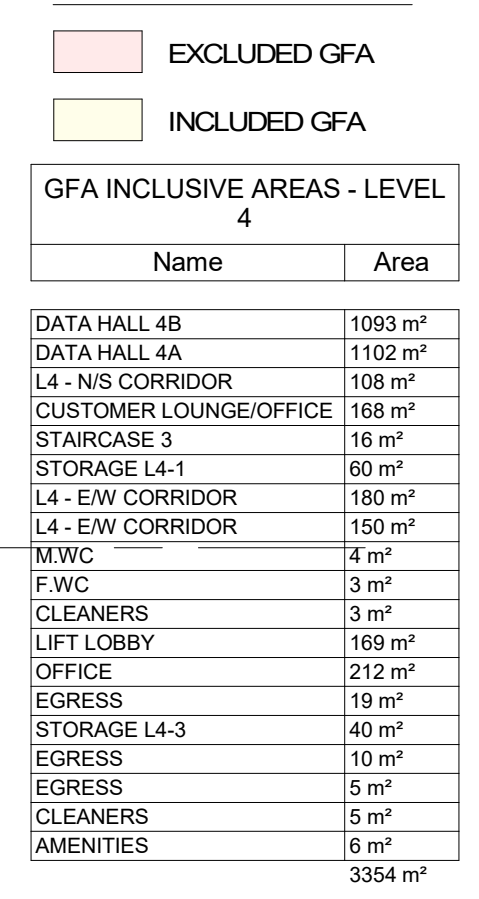
Project Status
S.4.55

Drawing Title
LEVEL 3 PLAN

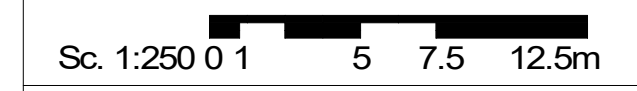
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S3- FAC- AR- DRG- DA102 [0]

Issue

1 LEVEL 3
1:250



Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	20.09.2018	FOR INFORMATION
D	13.09.2018	FOR COORDINATION
E	21.09.2018	ISSUE FOR PRE-DA
F	25.10.2018	ISSUE FOR COST
G	30.11.2018	FOR INFORMATION
H	07.12.2018	ISSUE FOR DA
I	12.12.2018	AMENDED ISSUE FOR DA
J	04.01.2019	ISSUE FOR INFORMATION
K	20.02.2020	ISSUE FOR COMMENT
L	28.02.2020	ISSUE FOR COMMENT
M	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL
N	14.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL



Key Plan

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LEVEL 25
25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA

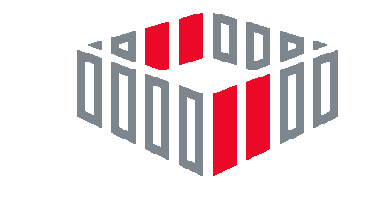
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Project
S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

Drawn By	Scale
CO	As indicated @ A1

Checked By GP	Approved By GP
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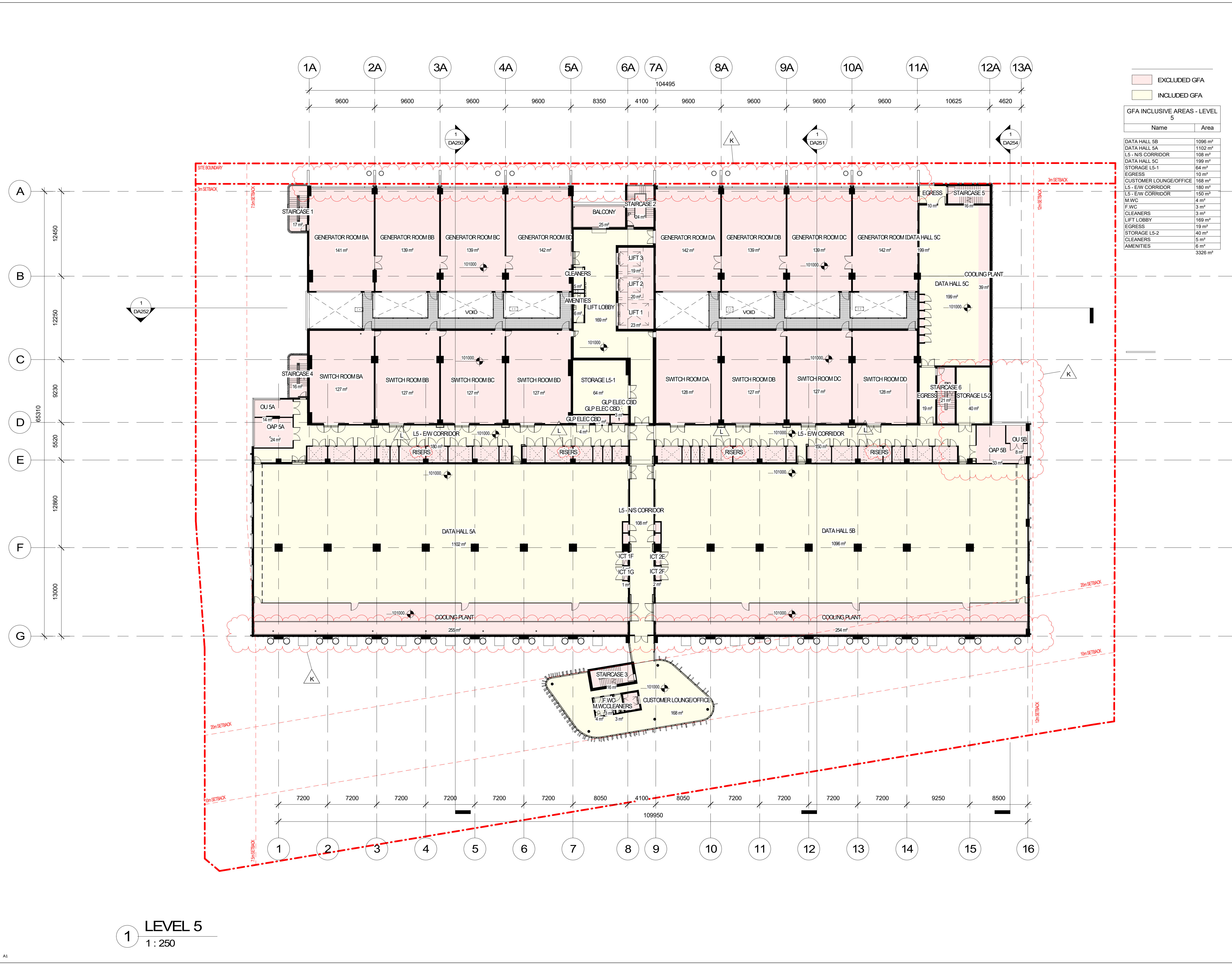
Date	Job Number
14.10.2020	180038
Product, Status	

Project Status	S.4.55
Drawing Title	

LEVEL 4 PLAN

Drawing Number	Issue
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S3- FAC- AR- DRG- DA103 [N]



GFA INCLUSIVE AREAS - LEVEL 5	
Name	Area
DATA HALL 5B	1096 m²
DATA HALL 5A	1102 m²
L5 - NS CORRIDOR	108 m²
DATA HALL 5C	199 m²
STORAGE L5-1	64 m²
EGRESS	10 m²
CUSTOMER LOUNGE/OFFICE	168 m²
L5 - EW CORRIDOR	180 m²
L5 - EW CORRIDOR	150 m²
M.W.C	4 m²
F.W.C	3 m²
CLEANERS	3 m²
LIFT LOBBY	169 m²
EGRESS	19 m²
STORAGE L5-2	40 m²
CLEANERS	5 m²
AMENITIES	6 m²
	3326 m²

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	13.09.2018	FOR COORDINATION
D	21.09.2018	ISSUE FOR PRE-DA
E	25.10.2018	ISSUE FOR COST
F	07.12.2018	ISSUE FOR DA
G	12.12.2018	AMENDED ISSUE FOR DA
H	04.01.2019	ISSUE FOR INFORMATION
I	20.02.2020	ISSUE FOR COMMENT
J	26.02.2020	ISSUE FOR COMMENT
K	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL
L	14.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Key Plan

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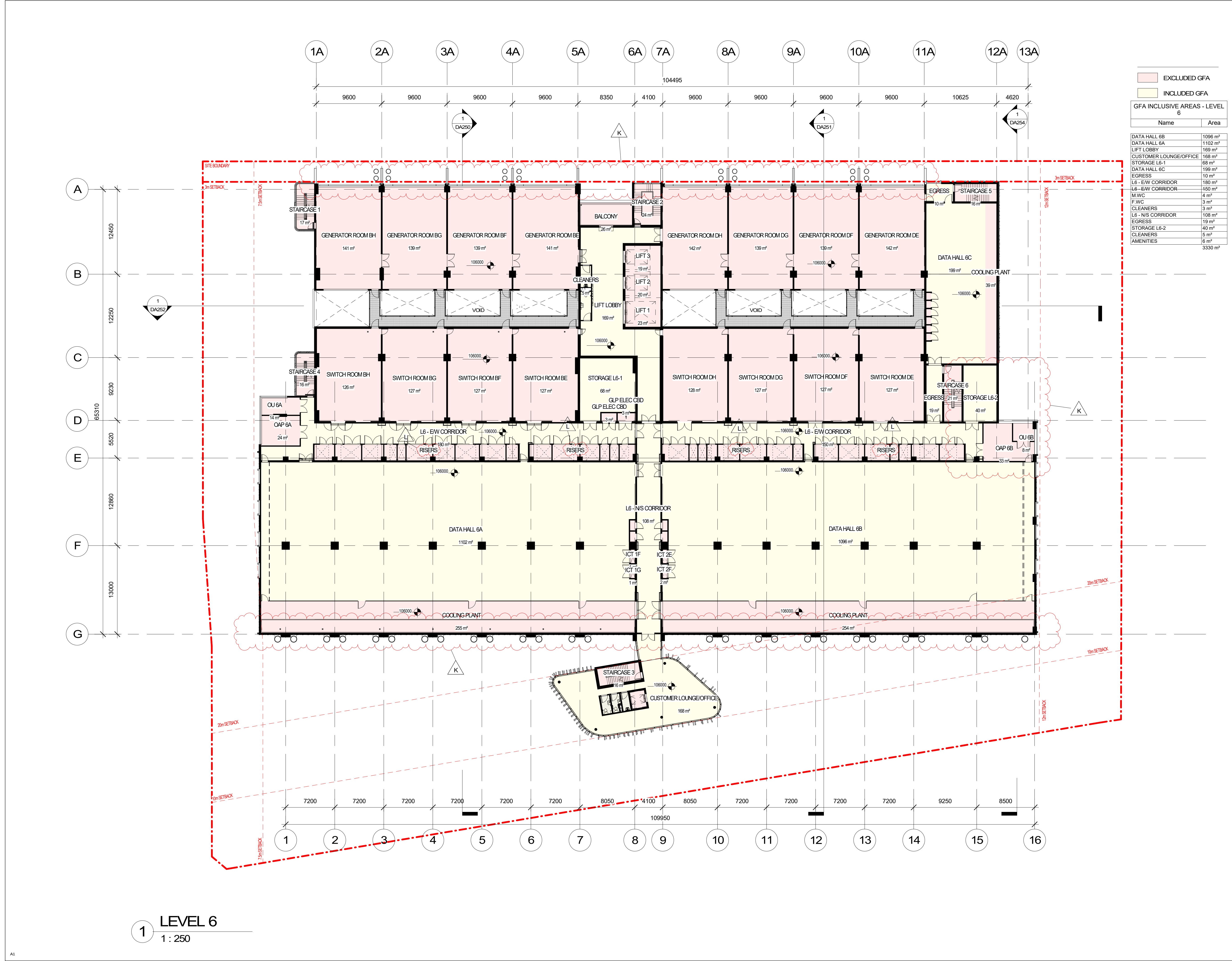
Project

S3

Lot 6, 219-247 Pacific Highway
Artarmon, NSW, 2046

Drawn By	CO	Scale	As indicated @ A1
Checked By	GP	Approved By	GP
Date	14.10.2020	Job Number	180038
Project Status	S.4.55		
Drawing Title	LEVEL 5 PLAN		
Drawing Number	S3- FAC- AR- DRG- DA104	Issue	[L]

1 LEVEL 5
1 : 250



EXCLUDED GFA	
INCLUDED GFA	
GFA INCLUSIVE AREAS - LEVEL 6	
Name	Area
DATA HALL 6B	1096 m²
DATA HALL 6A	1102 m²
LIFT LOBBY	168 m²
CUSTOMER LOUNGE/OFFICE	168 m²
STORAGE L6-1	68 m²
DATA HALL 6C	199 m²
EGRESS	10 m²
L6 - EW CORRIDOR	180 m²
L6 - EW CORRIDOR	150 m²
M.W.C	4 m²
F.W.C	3 m²
CLEANERS	3 m²
L6 - NS CORRIDOR	108 m²
EGRESS	19 m²
STORAGE L6-2	40 m²
CLEANERS	5 m²
AMENITIES	6 m²
	3330 m²

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	07.08.2018	FOR INFORMATION
D	21.09.2018	ISSUE FOR PRE-DA
E	25.10.2018	ISSUE FOR COST
F	07.12.2018	ISSUE FOR DA
G	12.12.2018	AMENDED ISSUE FOR DA
H	04.01.2019	ISSUE FOR INFORMATION
I	20.02.2020	ISSUE FOR COMMENT
J	26.02.2020	ISSUE FOR COMMENT
K	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL
L	14.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Key Plan

Scale: 1:250 0 1 5 7.5 12.5m

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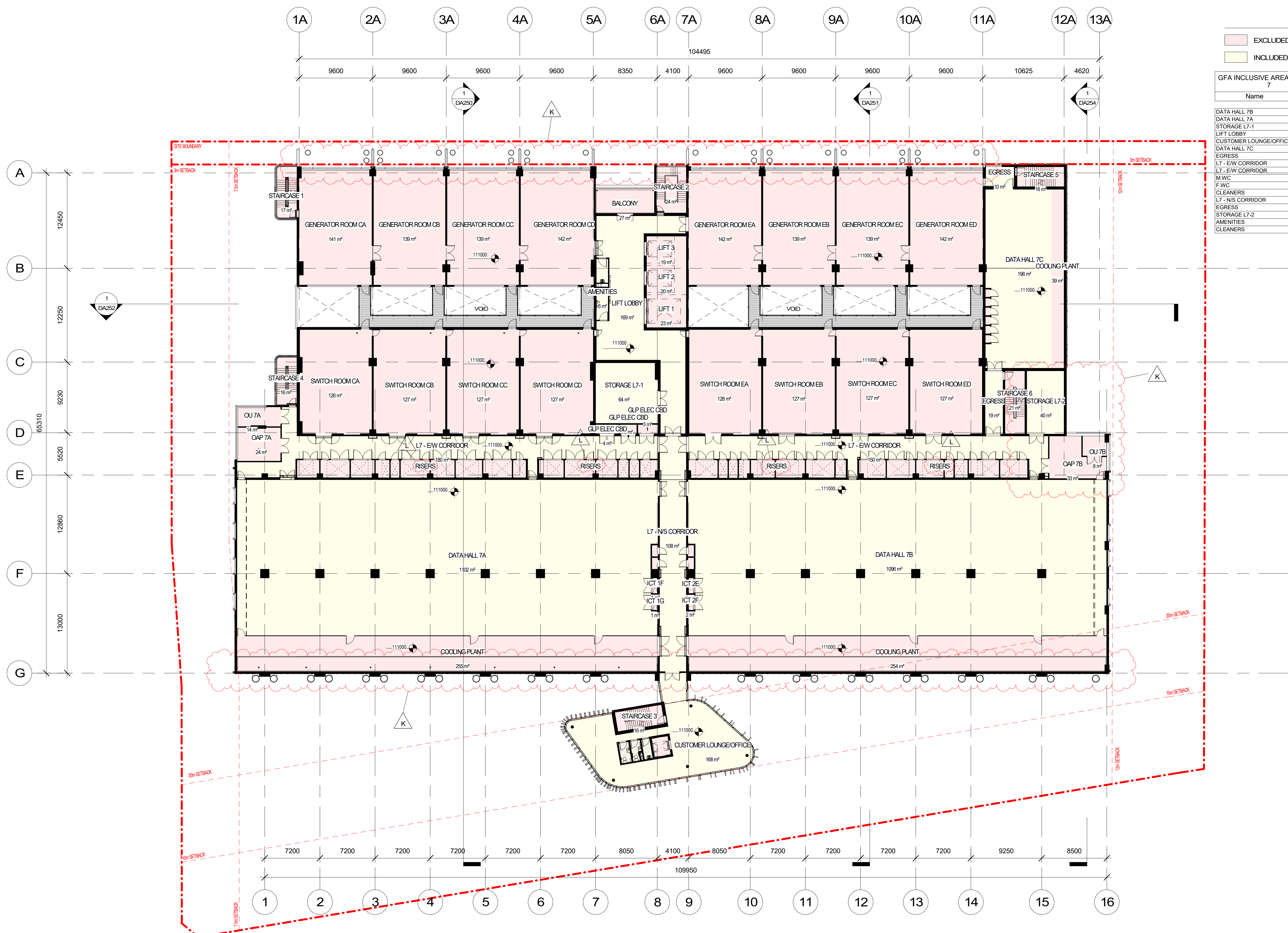
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S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW, 2046

Drawn By CO	Scale As indicated @ A1
Checked By GP	Approved By GP
Date 14.10.2020	Job Number 180038
Project Status S.4.55	
Drawing Title LEVEL 6 PLAN	
Drawing Number S3- FAC- AR- DRG- DA105 [L]	Issue

1 LEVEL 6
1 : 250



GFA INCLUSIVE AREAS - LEVEL 7	
Name	Area
DATA HALL 7B	1096 m ²
DATA HALL 7A	1102 m ²
STORAGE L7-1	64 m ²
LIFT LOBBY	169 m ²
CUSTOMER LOUNGE/OFFICE	168 m ²
DATA HALL 7C	196 m ²
EGRESS	10 m ²
L7 - EW CORRIDOR	180 m ²
L7 - EW CORRIDOR	150 m ²
M.W.C	4 m ²
F.W.C	3 m ²
CLEANERS	3 m ²
L7 - NS CORRIDOR	108 m ²
EGRESS	19 m ²
STORAGE L7-2	40 m ²
AMENITIES	6 m ²
CLEANERS	5 m ²
	3323 m ²

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	13.09.2018	FOR COORDINATION
D	21.09.2018	ISSUE FOR PRE-DA
E	25.10.2018	ISSUE FOR COST
F	07.12.2018	ISSUE FOR DA
G	12.12.2018	AMENDED ISSUE FOR DA
H	04.01.2019	ISSUE FOR INFORMATION
I	20.02.2020	ISSUE FOR COMMENT
J	28.02.2020	ISSUE FOR COMMENT
K	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL
L	14.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Key Plan
Scale: 1:250 0 1 5 7.5 12.5m

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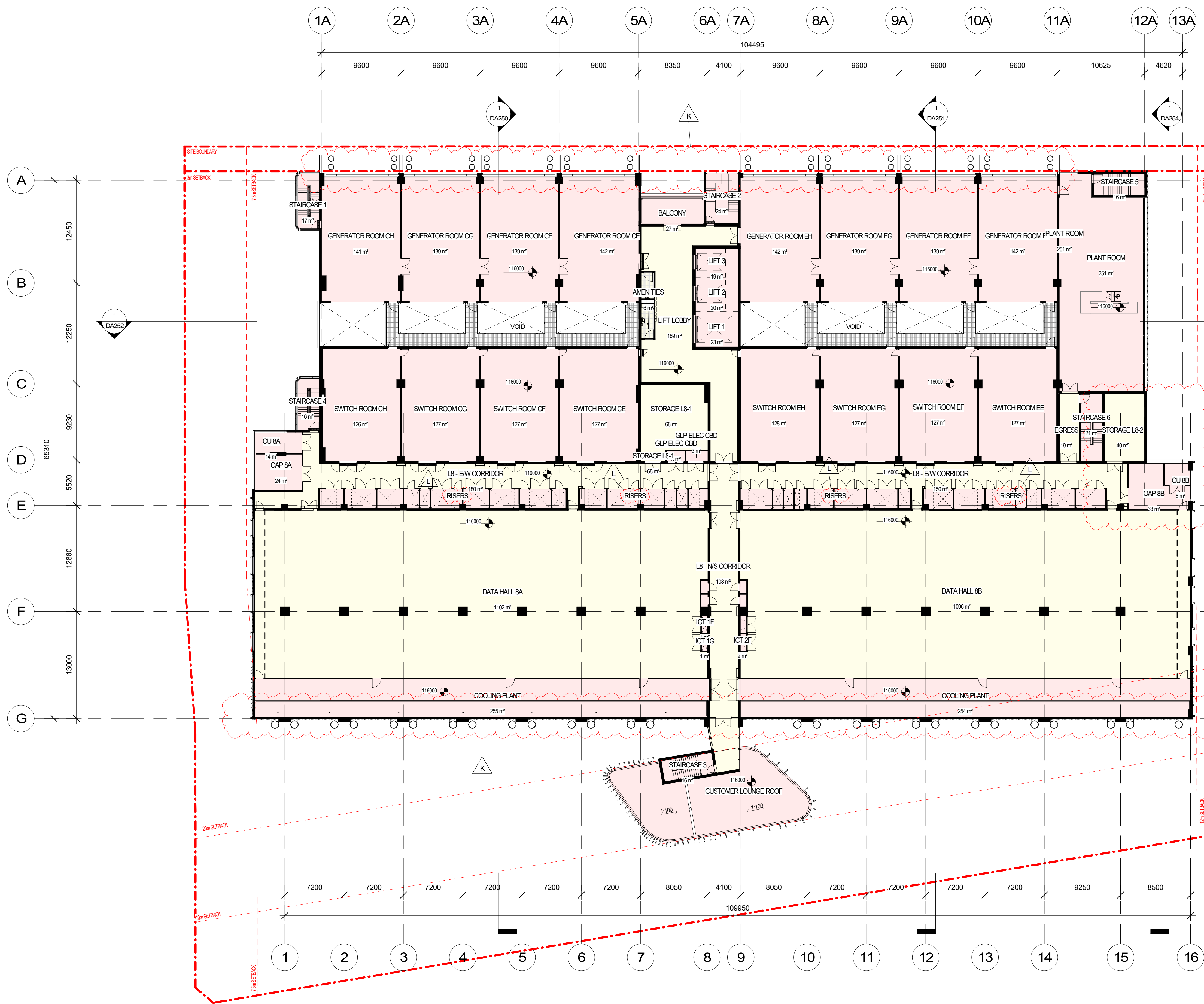


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S3
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Drawn By CO	Scale As indicated @ A1
Checked By GP	Approved By GP
Date 14.10.2020	Job Number 180038
Project Status S.4.55	
Drawing Title LEVEL 7 PLAN	
Drawing Number S3- FAC- AR- DRG- DA106	Issue [L]

1 LEVEL 7
1 : 250



EXCLUDED GFA
INCLUDED GFA

GFA INCLUSIVE AREAS - LEVEL 8	
Name	Area
DATA HALL 8B	1096 m²
DATA HALL 8A	1102 m²
L8 - EW CORRIDOR	180 m²
CLEANERS	5 m²
AMENITIES	6 m²
L8 - EW CORRIDOR	150 m²
LIFT LOBBY	169 m²
L8 - N/S CORRIDOR	108 m²
EGRESS	19 m²
STORAGE L8-2	40 m²
EGRESS	21 m²
	2964 m²

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	13.09.2018	FOR COORDINATION
D	21.09.2018	ISSUE FOR PRE-DA
E	25.10.2018	ISSUE FOR COST
F	07.12.2018	ISSUE FOR DA
G	12.12.2018	AMENDED ISSUE FOR DA
H	04.01.2019	ISSUE FOR INFORMATION
I	20.02.2020	ISSUE FOR COMMENT
J	26.02.2020	ISSUE FOR COMMENT
K	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL
L	14.10.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

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Date
14.10.2020
Job Number
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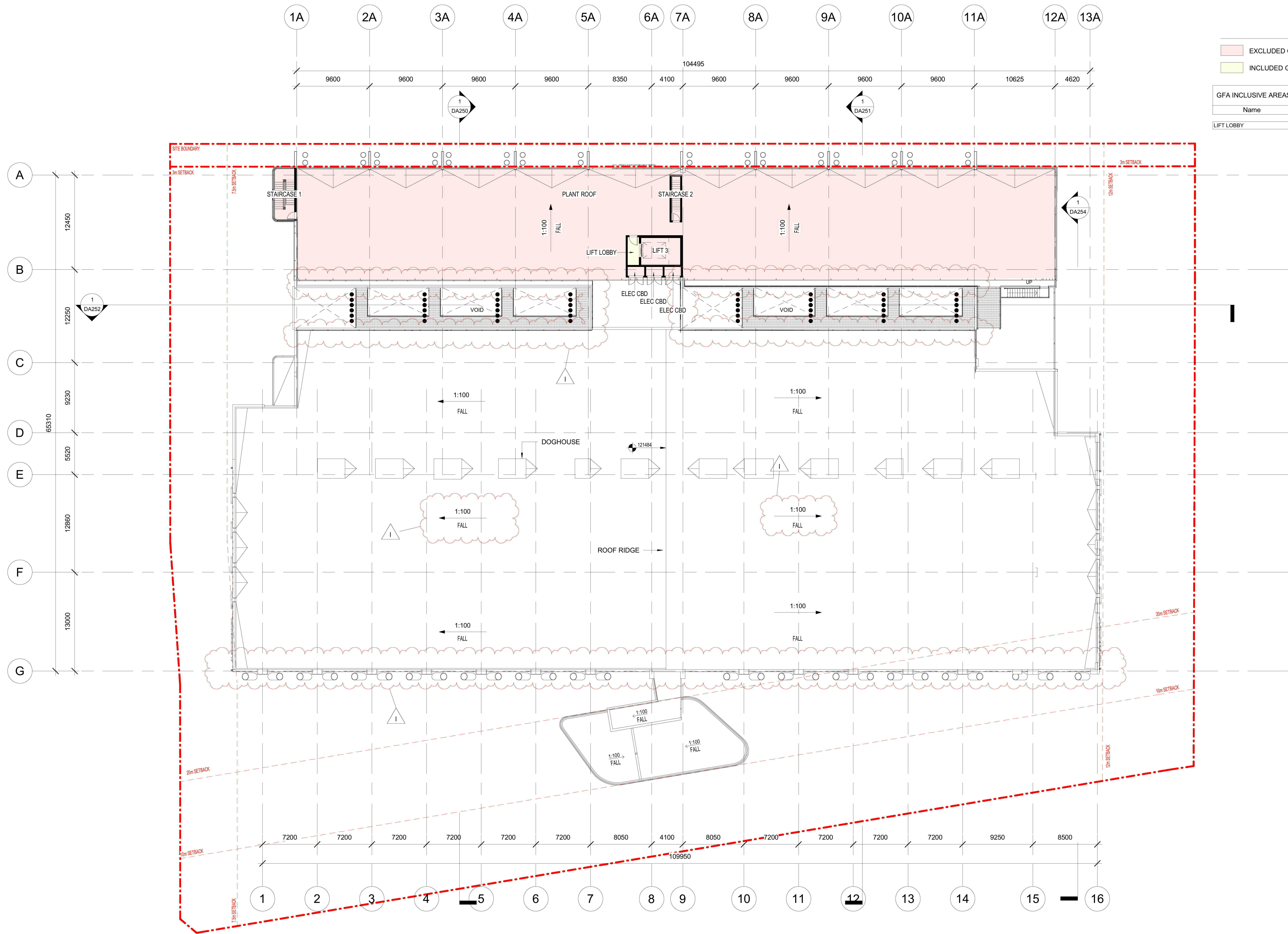
Project Status
S.4.55

Drawing Title
LEVEL 8 PLAN

Drawing Number
S3-FAC-AR-DRG-DA107 [L]

Issue

1 LEVEL 8
1:250



Issue	Date	Description
A	06.09.2018	FOR INFORMATION
B	000	ERROR IN TRANSMITTAL
C	21.09.2018	ISSUE FOR PRE-DA
D	30.11.2018	FOR INFORMATION
E	07.12.2018	ISSUE FOR DA
F	12.12.2018	AMENDED ISSUE FOR DA
G	20.02.2020	ISSUE FOR COMMENT
H	28.02.2020	ISSUE FOR COMMENT
I	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

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ABN: 79 139 779 098
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CO
Scale
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Checked By
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Approved By
GP

Date
20.03.2020
Job Number
180038

Project Status
S.4.55

Drawing Title
ROOF PLAN

Drawing Number
S3-FAC-AR-DRG-DA109 [1]

Issue

Issue	Date	Description
A	21.09.2018	ISSUE FOR PRE-DA
B	25.10.2018	ISSUE FOR COST
C	07.12.2018	ISSUE FOR DA
D	12.12.2018	AMENDED ISSUE FOR DA
E	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

GREENBOX

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LEVEL 25
25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA

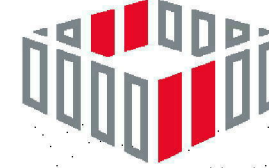
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ABN: 79 139 779 098

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Artarmon, NSW, 2046

Drawn By

CO Scale 1 : 250 @ A1

Checked By

GP Approved By GP

Date

20.03.2020 Job Number 180038

Project Status

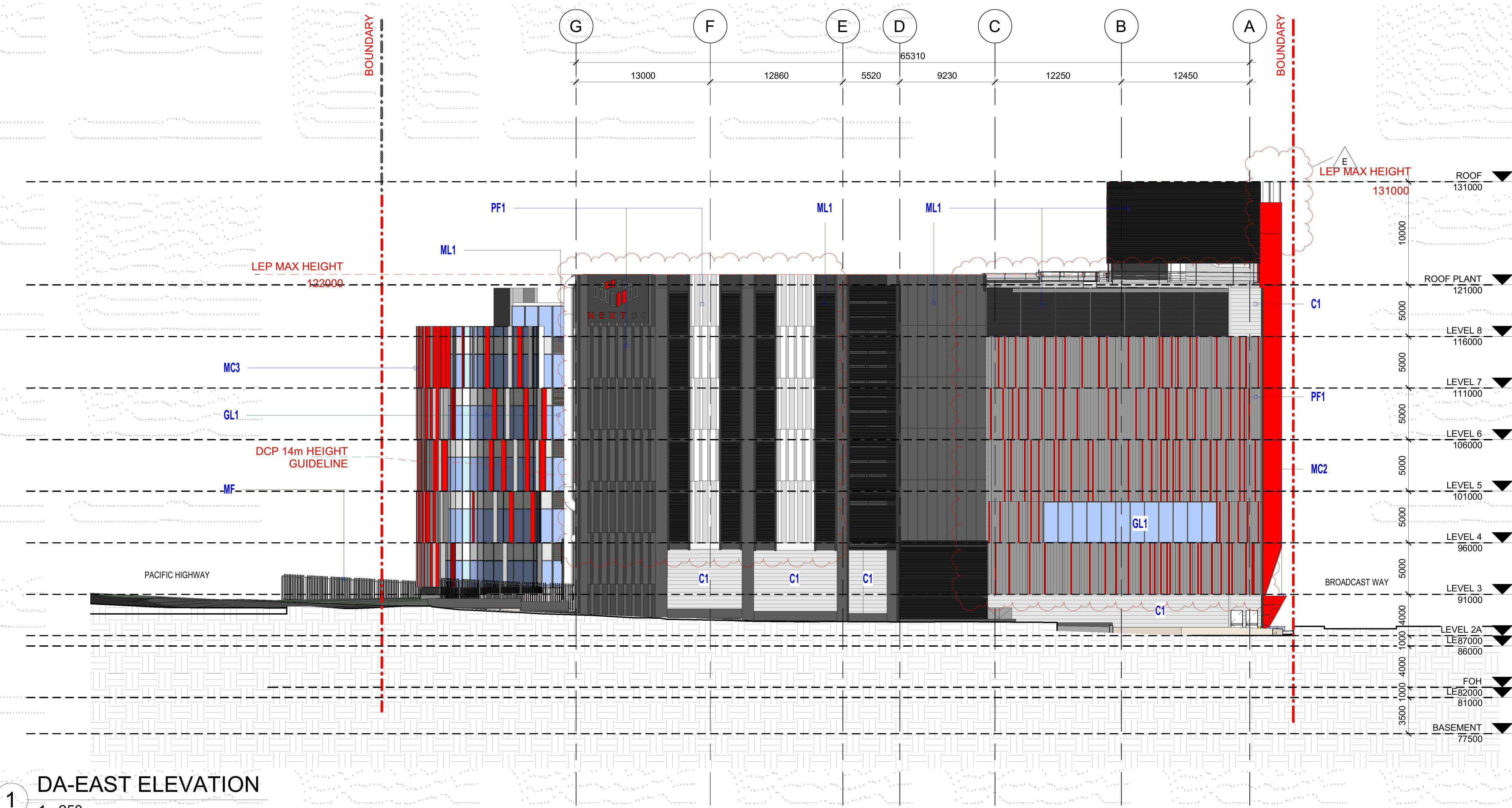
S.4.55

Drawing Title

EAST ELEVATION

Drawing Number

S3- FAC- AR- DRG- DA201 [E]



1 DA-EAST ELEVATION
1 : 250

MATERIAL LEGEND:



BUIDLING SIGNAGE
TO SEPERATE DA.



Issue	Date	Description
A	21.09.2019	ISSUE FOR PRE-DA
B	25.10.2018	ISSUE FOR COST
C	07.12.2018	ISSUE FOR DA
D	12.12.2018	AMENDED ISSUE FOR DA
E	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

GREENBOX

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Artarmon, NSW, 2046

Drawn By
CO
Scale
1 : 250 @ A1

Checked By
GP
Approved By
GP

Date
20.03.2020
Job Number
180038

Project Status
S.4.55

Drawing Title
SOUTH ELEVATION (PACIFIC HIGHWAY)

Drawing Number
S3- FAC- AR- DRG- DA202 [E]

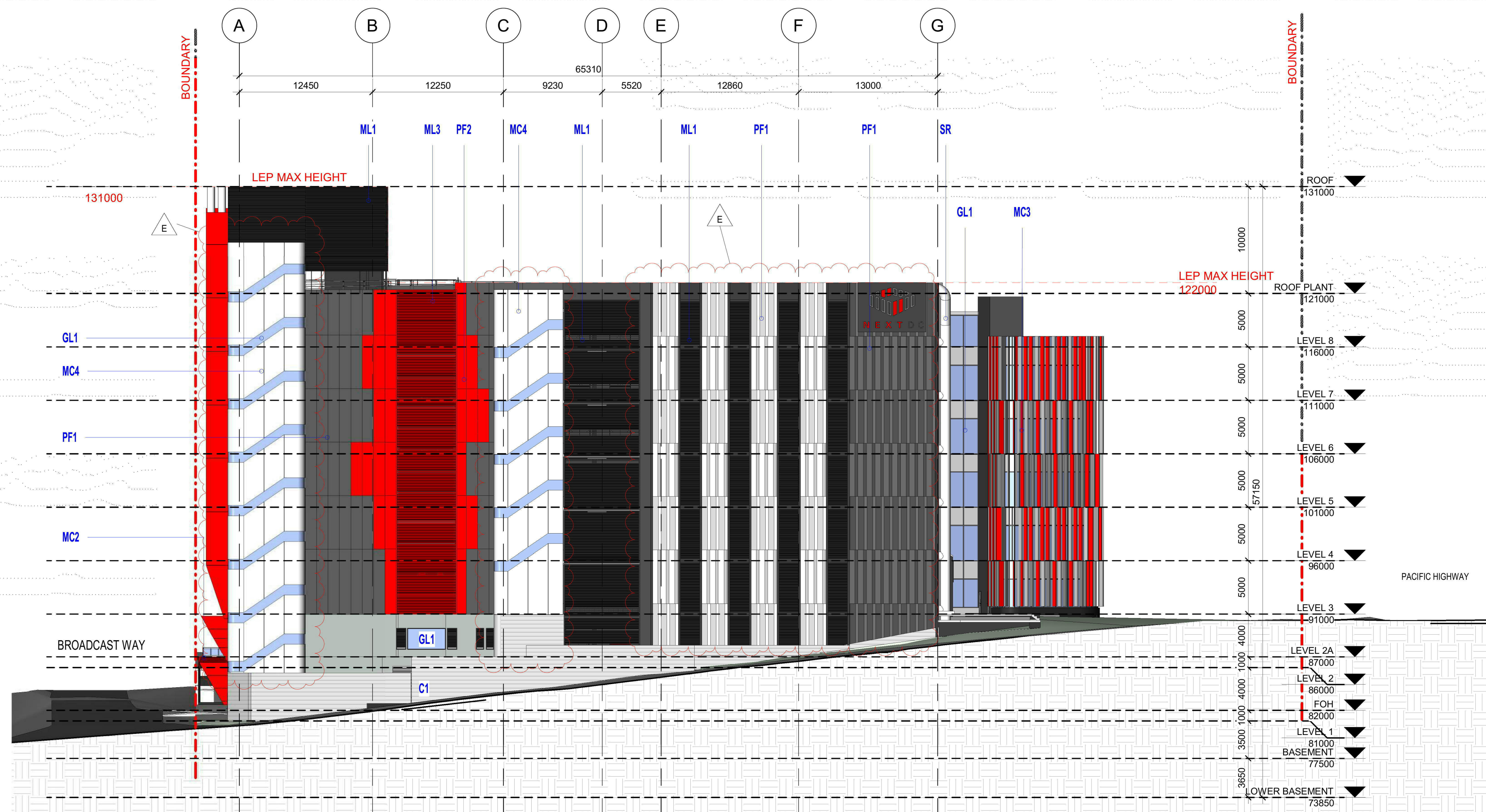
DA - SOUTH ELEVATION-PACIFIC HIGHWAY

1:250

MATERIAL LEGEND:



BUILDING SIGNAGE
TO SEPERATE DA.



1 DA-WEST ELEVATION-CAMPBELL STREET
1 : 250

MATERIAL LEGEND:



BUIDLING SIGNAGE
TO SEPERATE DA.


Issue	Date	Description
A	21.09.2019	ISSUE FOR PRE-DA
B	25.10.2019	ISSUE FOR COST
C	07.12.2019	ISSUE FOR DA
D	12.12.2019	AMENDED ISSUE FOR DA
E	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m
Key Plan

GREENBOX

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25 BLIGH ST
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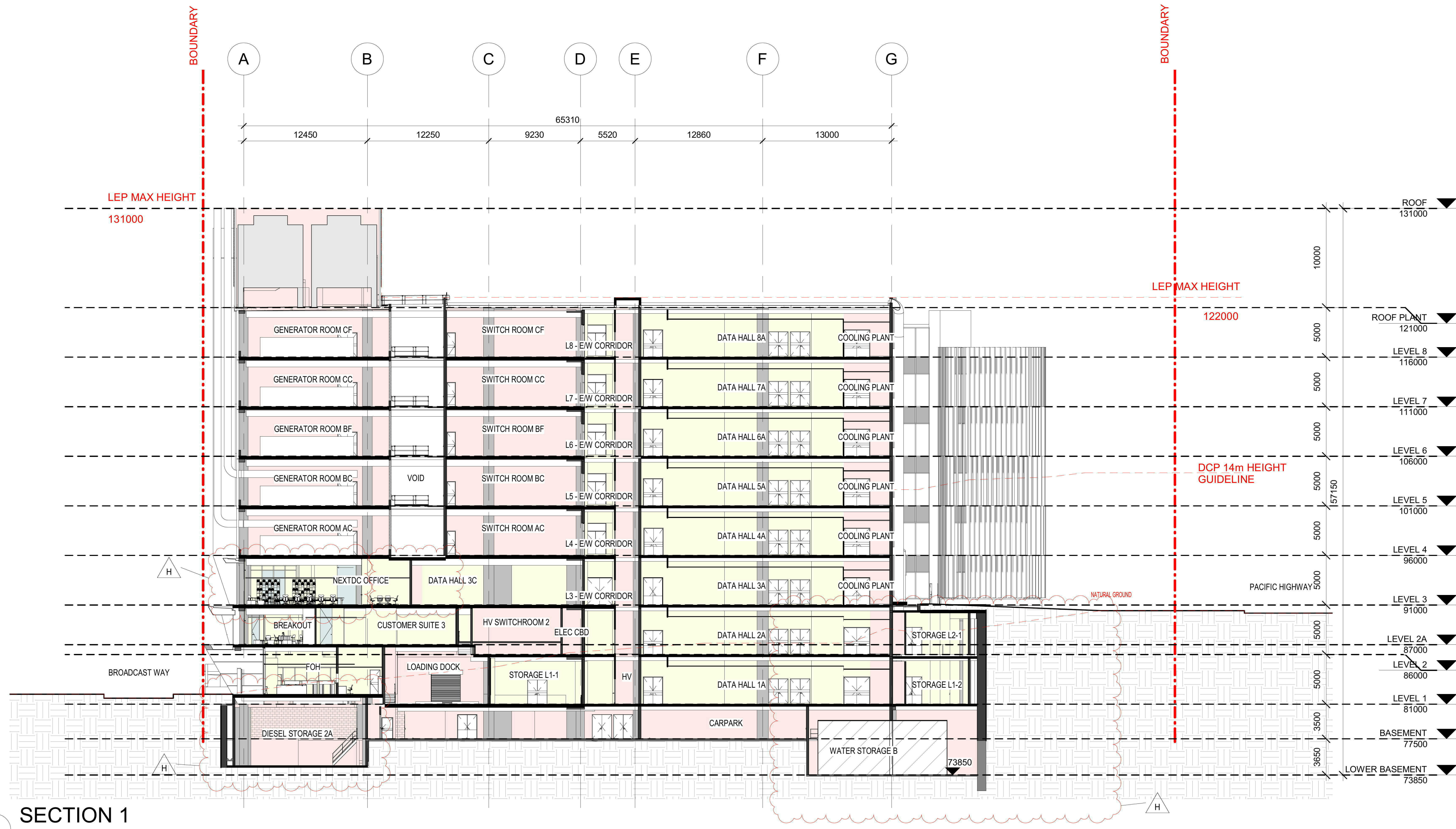
Client
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NEXTDC

Project
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Lot 6, 219-247 Pacific Highway
Artarmon, NSW, 2046

Drawn By CO	Scale 1 : 250 @ A1
Checked By GP	Approved By GP
Date 20.03.2020	Job Number 180038

Project Status
S.4.55
Drawing Title
WEST ELEVATION (CAMPBELL STREET)
Drawing Number

Issue
S3- FAC- AR- DRG- DA203 [E]



1 SECTION 1
1 : 250

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	21.09.2018	ISSUE FOR PRE-DA
D	25.10.2018	ISSUE FOR COST
E	07.12.2018	ISSUE FOR DA
F	20.02.2020	ISSUE FOR COMMENT
G	28.02.2020	ISSUE FOR COMMENT
H	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

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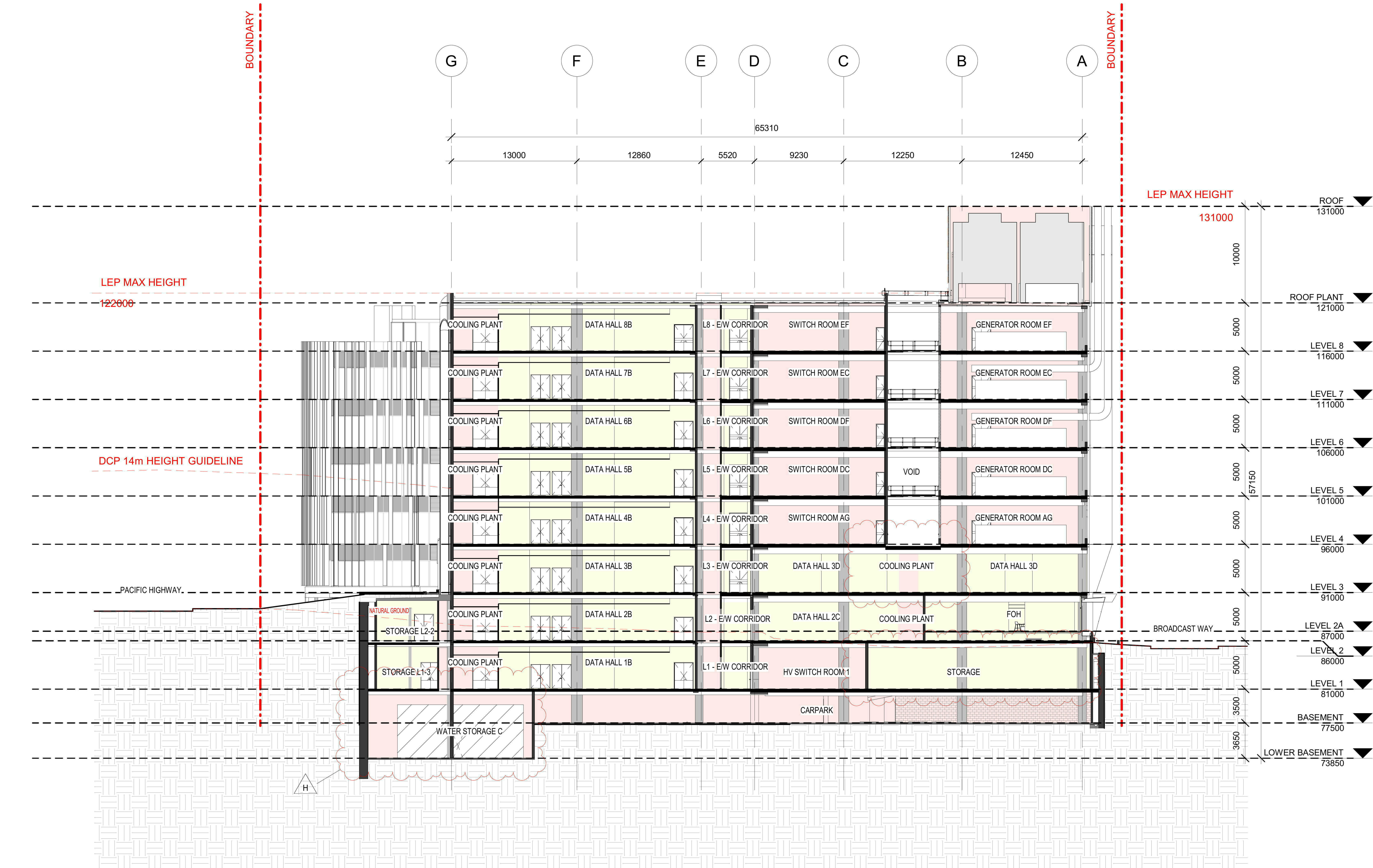
NEXTDC

Project
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Artarmon, NSW. 2046

Drawn By CO	Scale 1 : 250 @ A1
Checked By GP	Approved By GP
Date 20.03.2020	Job Number 180038
Project Status S.4.55	

Drawing Title
SECTION 1

Drawing Number	Issue
S3- FAC- AR- DRG- DA250	[H]



1 SECTION 2
1 : 250

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	21.09.2018	ISSUE FOR PRE-DA
D	25.10.2018	ISSUE FOR COST
E	07.12.2018	ISSUE FOR DA
F	20.02.2020	ISSUE FOR COMMENT
G	28.02.2020	ISSUE FOR COMMENT
H	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

GREENBOX

+61 2 8069 8930
LEVEL 25
25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA
GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 098
ISO 9001 CERTIFIED QUALITY SYSTEM

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Client
NEXTDC LIMITED



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Project
S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

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CO
Scale
1 : 250
@ A1

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GP
Approved By
GP

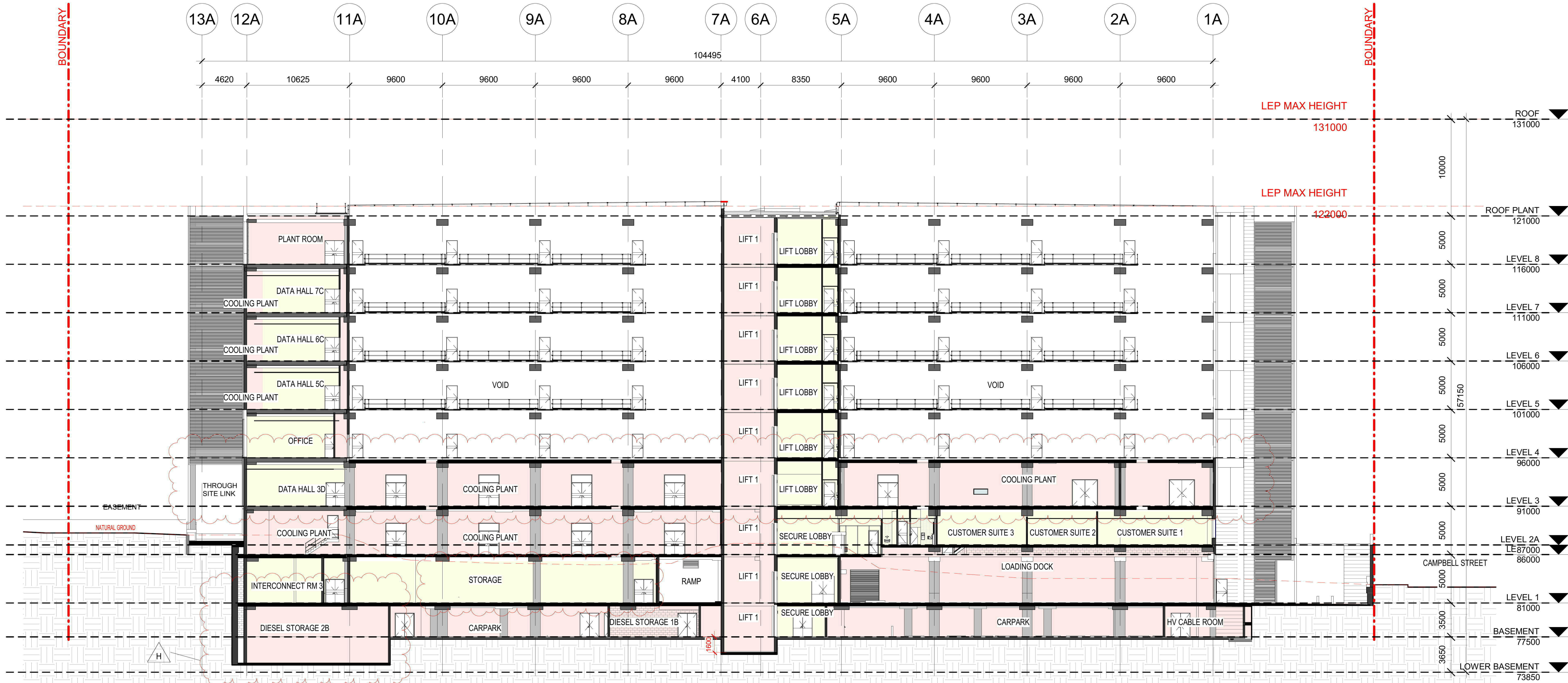
Date
20.03.2020
Job Number
180038

Project Status
S.4.55

Drawing Title
SECTION 2

Drawing Number
Issue

S3- FAC- AR- DRG- DA251 [H]



1 SECTION 3
1 : 250

Issue	Date	Description
A	21.08.2018	FOR INFORMATION
B	06.09.2018	FOR INFORMATION
C	21.09.2018	ISSUE FOR PRE-DA
D	25.10.2018	ISSUE FOR COST
E	07.12.2018	ISSUE FOR DA
F	20.02.2020	ISSUE FOR COMMENT
G	28.02.2020	ISSUE FOR COMMENT
H	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Sc. 1:250 0 1 5 7.5 12.5m

Key Plan

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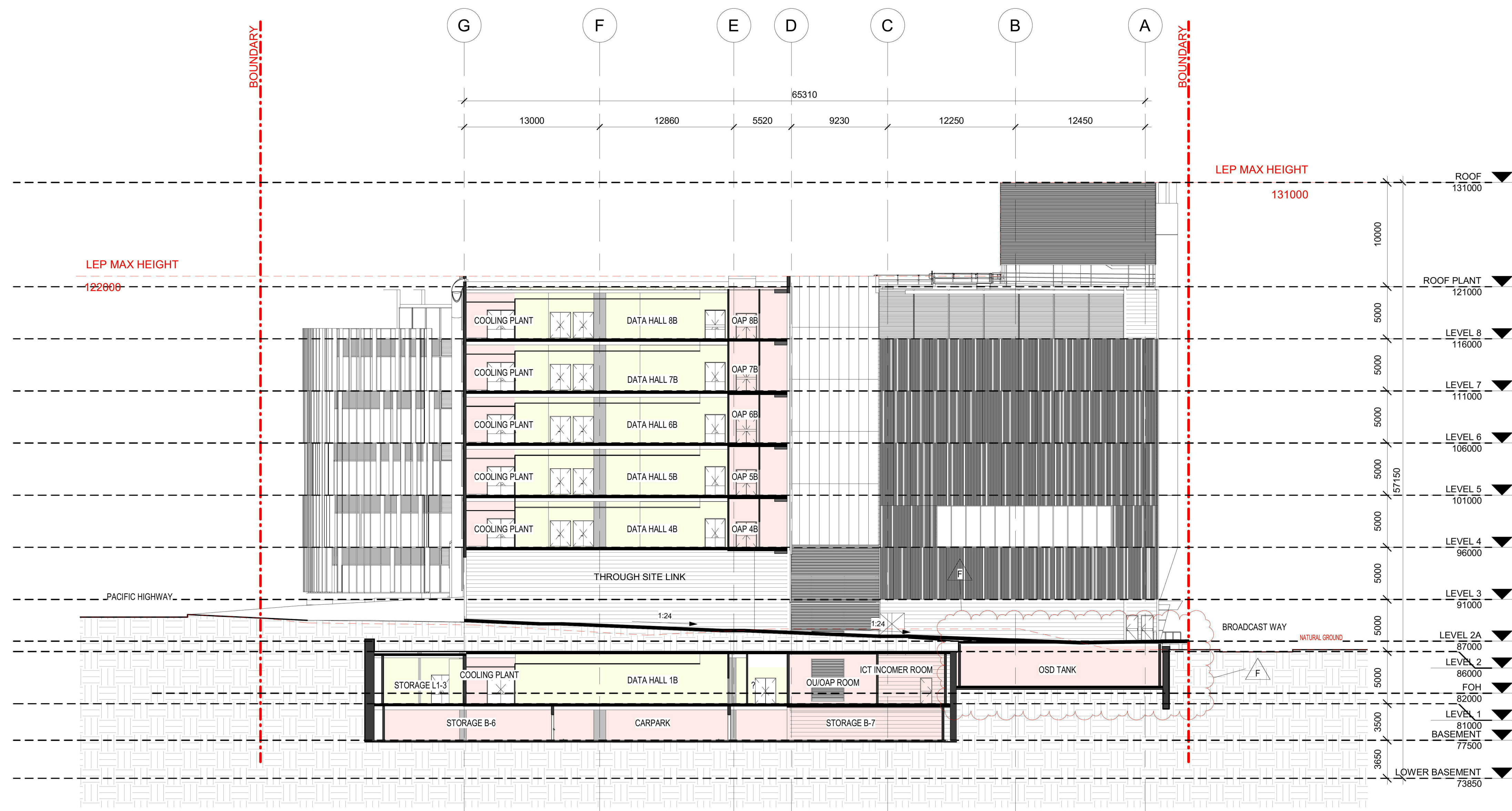
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Project
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Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

Drawn By CO	Scale 1 : 250 @ A1
Checked By GP	Approved By GP
Date 20.03.2020	Job Number 180038
Project Status S.4.55	

Drawing Title
SECTION 3

Drawing Number	Issue
S3- FAC- AR- DRG- DA252	[H]



1 SECTION 4
1 : 250

Issue	Date	Description
A	20.11.2019	FOR INFORMATION
B	07.12.2019	ISSUE FOR DA
C	12.12.2019	AMENDED ISSUE FOR DA
D	20.02.2020	ISSUE FOR COMMENT
E	29.02.2020	ISSUE FOR COMMENT
F	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

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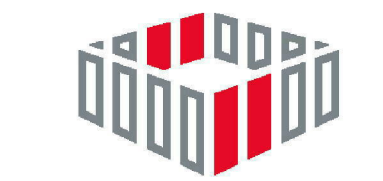
Key Plan

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25 BLIGH ST
SYDNEY NSW 2000 AUSTRALIA
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Artarmon, NSW. 2046

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CO

Scale
1 : 250 @ A1

Checked By
GP

Approved By
GP

Date
20.03.2020

Job Number
180038

Project Status
S.4.55

Drawing Title
SECTION 4

Drawing Number Issue

S3- FAC- AR- DRG- DA254 [F]



S.4.55 - VIEW FROM CAMPBELL ST

Issue	Date	Description
A	25.10.2019	ISSUE FOR COST
B	05.11.2019	ISSUE FOR INFORMATION
C	20.02.2020	ISSUE FOR COMMENT
D	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Key Plan

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Artarmon, NSW. 2046

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PL	@ A1
Checked By	Approved By
GP	GP
Date	Job Number
20.03.2020	180038
Project Status	
S.4.55	
Drawing Title	
PHOTOMONTAGE 01	
Drawing Number	Issue
S3- FAC- AR- DRG- DA601	[D]



S.4.55 - VIEW FROM CAMPBELL ST

Issue	Date	Description
A	25.10.2019	ISSUE FOR COST
B	07.12.2019	ISSUE FOR DA
C	20.02.2020	ISSUE FOR COMMENT
D	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

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Artarmon, NSW. 2046

Drawn By	Scale
PL	@ A1

Checked By	Approved By
GP	GP

Date	Job Number
20.03.2020	180038

Project Status

S.4.55

Drawing Title

PHOTOMONTAGE 02

Drawing Number	Issue
S3- FAC- AR- DRG- DA602	[D]



S.4.55 - VIEW FROM BROADCAST WAY

Issue	Date	Description
A	17.12.2019	ISSUE FOR INFORMATION
B	20.02.2020	ISSUE FOR COMMENT
C	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Key Plan

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Project

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Artarmon, NSW. 2046

Drawn By	Scale
PL	@ A1
Checked By	Approved By
GP	GP
Date	Job Number
20.03.2020	180038
Project Status	
S.4.55	
Drawing Title	
PHOTOMONTAGE 03	
Drawing Number	Issue
S3- FAC- AR- DRG- DA603 [C]	



S.4.55 - VIEW FROM PACIFIC HWY

Issue	Date	Description
A	07.12.2018	ISSUE FOR DA
B	17.12.2018	ISSUE FOR INFORMATION
C	20.02.2020	ISSUE FOR COMMENT
D	20.03.2020	SECTION 4.55 - ISSUE FOR APPROVAL

Key Plan

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Project

S3
Lot 6, 219-247 Pacific Highway
Artarmon, NSW. 2046

Drawn By	Scale
PL	@ A1

Checked By	Approved By
GP	GP

Date	Job Number
20.03.2020	180038

Project Status

S.4.55

Drawing Title

PHOTOMONTAGE 04

Drawing Number	Issue
S3- FAC- AR- DRG- DA604	[D]

LANDSCAPE DESIGN REPORT

LOT 6, 219-247 PACIFIC HIGHWAY

ARTARMON

S4.55 APPLICATION - S3 DATA CENTRE

Prepared for NEXT DC LIMITED

28.10.2020

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INTRODUCTION

This landscape design report has been prepared by Urbis for the proposed NEXTDC S3 data centre development located at 219-247 Pacific Highway, Artarmon. The landscape design presented incorporates the private landscape and through link along with Campbell Street and Pacific Highway streetscape upgrades. The landscape proposal has been prepared in compliance with Willoughby City Council DCP and DA application checklist.

SITE CONTEXT

The site is located on a vacant block of land along the Pacific Highway and is located within the industrial area of Artarmon. The site is approximately 7km from the Sydney CBD. The adjoining properties consist of light industrial buildings, television broadcast tower and Fox Sport headquarters to the south-east. The remainder of the site is bound by the Pacific Highway to the south-west, Campbell Street to the north and Broadcast Way to the north-east.

DEVELOPMENT PROPOSAL

The design responds to the following key areas:

- Setback landscaping that will be low maintenance, shade and drought tolerant
- Streetscape landscaping that aligns with Councils design guidelines



Image: Near Maps Image



DESIGN RESPONSE

METHODOLOGY

The landscape design strategy for the NEXTDC S3 Data Centre comprises of the private setbacks and the streetscape landscapes. The landscape will align with the Willoughby City Council Control Plan Policies. Private landscapes will be a mixture of shrubs, groundcovers and turf planting, these will be layered to provide privacy to the street and be of low maintenance. Proposed trees in the site are situated appropriately in the lot setback, and have been prescribed from a council specified list.

The proposed streetscape will concisely follow the councils guidelines.
Pacific Highway streetscape upgrade:

- In-situ concrete paving
- Turf verge
- New street trees
- Relocated street lights to align with new street trees
- Relocated bustop closer to the corner of Campbell Street and Pacific Highway

Campbell Street streetscape upgrade:

- In-situ concrete paving and markings to 3m shared path
- Turf verge

These upgrades will reflect the existing street characters associated with mixed use, commercial and business as outlined within the public domain technical manual.

PLANT ESTABLISHMENT + MAINTENANCE

Landscape Maintenance Strategy

General

Planting maintenance period: the planting maintenance period will be 52 weeks and will commence from the date of practical completion. Of each phase of planting works (hereby specified to be a separable part of the works). It is anticipated that planting works will be undertaken in one phase

Planting maintenance program: 2 weeks prior to practical completion, furnish a proposed planting establishment program, and amend it as required. Such proposal should contain details of the types and frequency of maintenance activities involved with the establishment of plants and grassed areas. Comply with the approved program.

Planting maintenance log book: keep a log book recording when and what maintenance work has been done and what materials, including approved toxic materials, have been used. Log book must be signed off by the client’s representative after each maintenance visit. Maintain log book in location nominated by superintendent. All entries are to be initialled by person nominated by superintendent. Log book to contain a copy of the approved planting establishment program.

Product warranty: submit the supplier’s written statement certifying that plants are true to the required species and type, and are free from diseases, pests and weeds.

Insurance: the contractor is to ensure suitable insurance cover and / or bank guarantee is in place for the theft and / or damage of all works executed under this contract for the plant maintenance period.

Planting Maintenance

Protection of works: provide any fencing or barriers necessary to protect the planting from damage throughout the planting establishment period.

Recurrent works: throughout the planting maintenance period, continue to carry out recurrent works of a maintenance nature all to the extent required to ensure that the plants are in the best possible condition at the end of the planting maintenance period. These activities are including but not limited to:

- Weeding,
- Rubbish removal,
- Fertilizing,
- Pest and disease control,
- Adjust / replace stakes and ties
- Topping up mulch,
- Cultivating,
- Pruning,
- Keeping the site neat and tidy

Replacements: the contractor is responsible for the replacement of failed, damaged or stolen trees, shrubs and groundcovers throughout the planting establishment period.

Weeding

Generally: regularly remove, by hand, rubbish and weed growth that may occur or recur throughout turfed, planted and mulched areas. Continue eradication throughout the course of the works and during the planting establishment periods.

Weed eradication: the contractor must make allowance for a higher level of maintenance during establishment to ensure that weeds are controlled.

Herbicide use: re-application of herbicide such as Ronstar or equivalent if required.

Compliance

- Requirement: plant maintenance shall be deemed complete subject to the following compliance with the criteria:
- Repairs to planting media completed
- Ground surfaces are covered with the specified treatment to the specified depths
- Pests, disease, or nutrient deficiencies or toxicities are not evident.
- Organic and rock mulched surfaces have been maintained in a weed free and tidy condition and to the specified depth

Vegetation is established and well formed

Plants have healthy root systems that have penetrated into the surrounding, undisturbed ground and not able to be lifted out of its planting hole

Vegetation is not restricting essential sight lines and signage

Collection and removal of litter

All non-conformance reports and defects notifications have been closed out.

Plant maintenance compliance schedule:*as defined by the superintendent

Pruning

Generally: tree plantings shall be left to grow in a form consistent with the growth habit of the species.

Pruning: cut back tree canopies and groundcovers to road verges, and light poles and signs as required achieving clear sight lines when viewed along roadway.

Requirement: pruning to be undertaken by a qualified tree surgeon / arborist

Fertilising

Generally: the fertiliser regimes have been devised to provide sufficient long-term fertility for the vegetation type and it is anticipated that all except the very high status horticultural beds such as feature plantings (entry and courtyard planting) for colour and foliage will not need regular fertiliser regimes.

Testing: additional nitrogen may be required due to drawdown effects from composts and mulches and localised waterlogging. To compensate for this, soil testing is to be carried out after 12 months to ascertain nutrient requirements.

Completion

Cleaning: remove temporary protective fences and tree stakes at the end of the planting maintenance period.

Drainage & Watering Strategy

Generally:

If the watering regime is intended to be amended the contractor must seek written approval from the superintendent immediately prior to the deferment of watering.

Watering permits: the contractor is responsible for obtaining the necessary watering permits required to carry out the watering as specified.

All irrigation systems will comprise of subsurface drip systems and automatic timers with rainwater / soil moisture sensor controls;

Where possible storm water runoff will be directed to the lawn and garden beds;

Irrigation will be provided to all soft landscape areas and will be specified within the tender package;

Low water demand shrub planting is proposed.

LIGHTING

All external areas will be designed to meet relevant Australian Lighting Standards. Integrated landscape lighting is proposed to all the landscape elements.

Final lighting layout to be confirmed by electrical engineer

SAFETY AND SECURITY

An integrated approach to safety will improve actual and perceived personal security in pedestrian public domain areas;

All paths are overlooked from adjoining buildings and adjacent streets which will provide a high level of passive surveillance;

All external spaces will have multiple clear sight lines without obstacles, proposed shrub planting is low level which will prevent places to hide;

All paths will be well lit at night time and designed to meet relevant Australian Lighting Standards;

Signage will be provided across the precinct to assist with wayfinding and navigation through the site.

WATER MANAGEMENT + WSUD

Water Sensitive Urban Design (WSUD) principles have been realised into the landscape design in a way that celebrates a sustainable water cycle.

Stormwater will be designed in accordance with NextDC S3’s Stormwater Management Guidelines (refer to engineers details)

Irrigation will be provided to all soft landscape areas and will be specified within the tender package.

Any On-site detention requirements have been outlined within the engineers stormwater management report. Refer to engineers drawings for details concerning stormwater and drainage.



EXISTING TREE STRATEGY



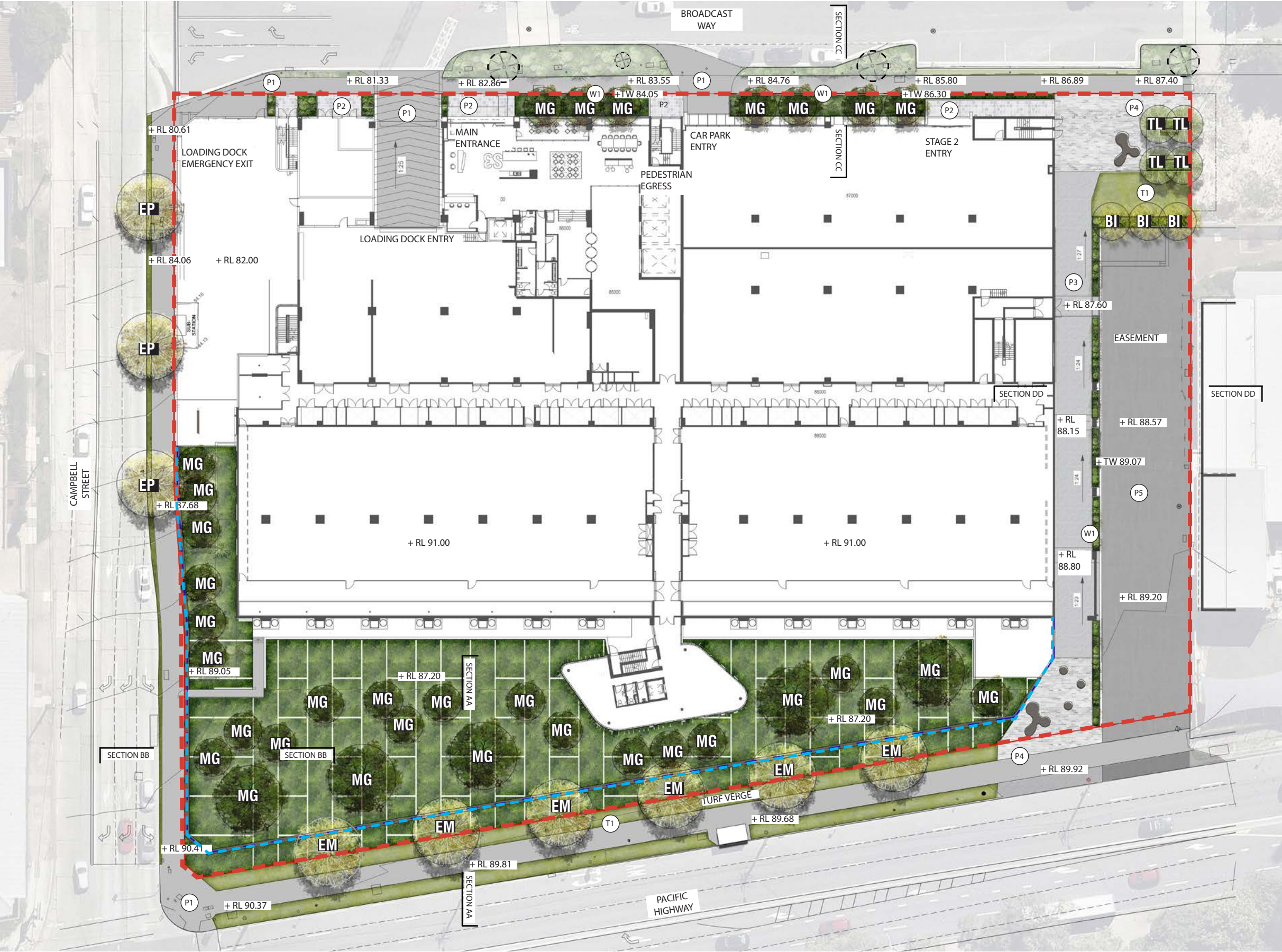
EXISTING TREE STRATEGY

- The project site is devoid of any significant trees or vegetation. Remaining trees and vegetation inside property boundary are to be removed.
- Broadcast Way street trees are to be retained following DCP guidelines.

LEGEND

-  Existing Street Trees to be Retained
-  Property Boundary / Extent of Works

PUBLIC DOMAIN / LANDSCAPE MASTER PLAN



Legend

Property Boundary

Security Fence (refer architects drawings)

P1

In-situ Concrete Path

P2

Grey Unit Paving

P3

Large Concrete Unit Paving

P4

Small Concrete Unit Paving

P5

Bitumen

W1

Insitu Concrete Wall

T1

Sir Walter Soft Leaf Buffalo Turf

Trees to be Retained

+ RL 0.00

Spot Levels

+ TW 0.00

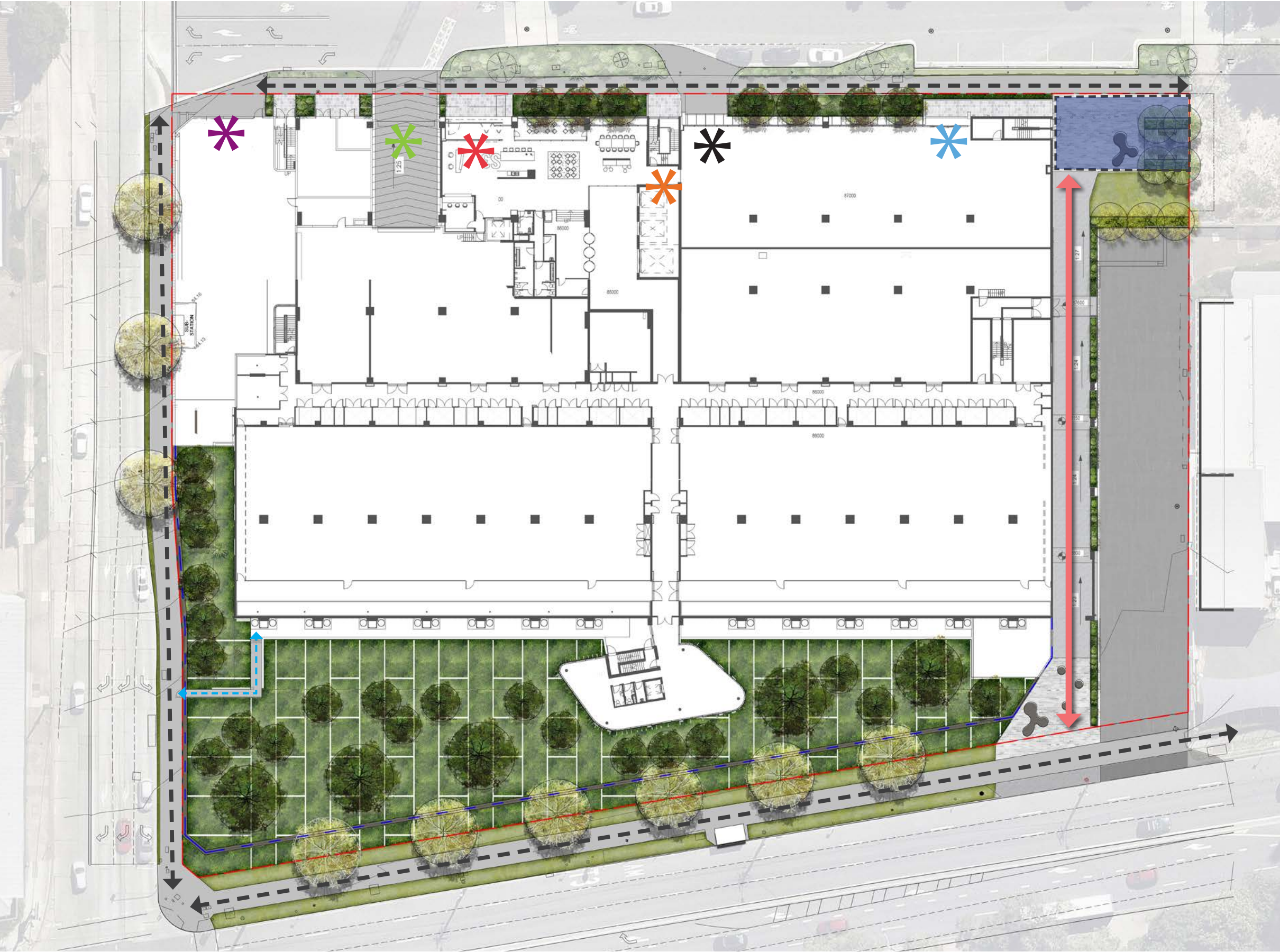
Top of Wall Levels

Walls

Seating

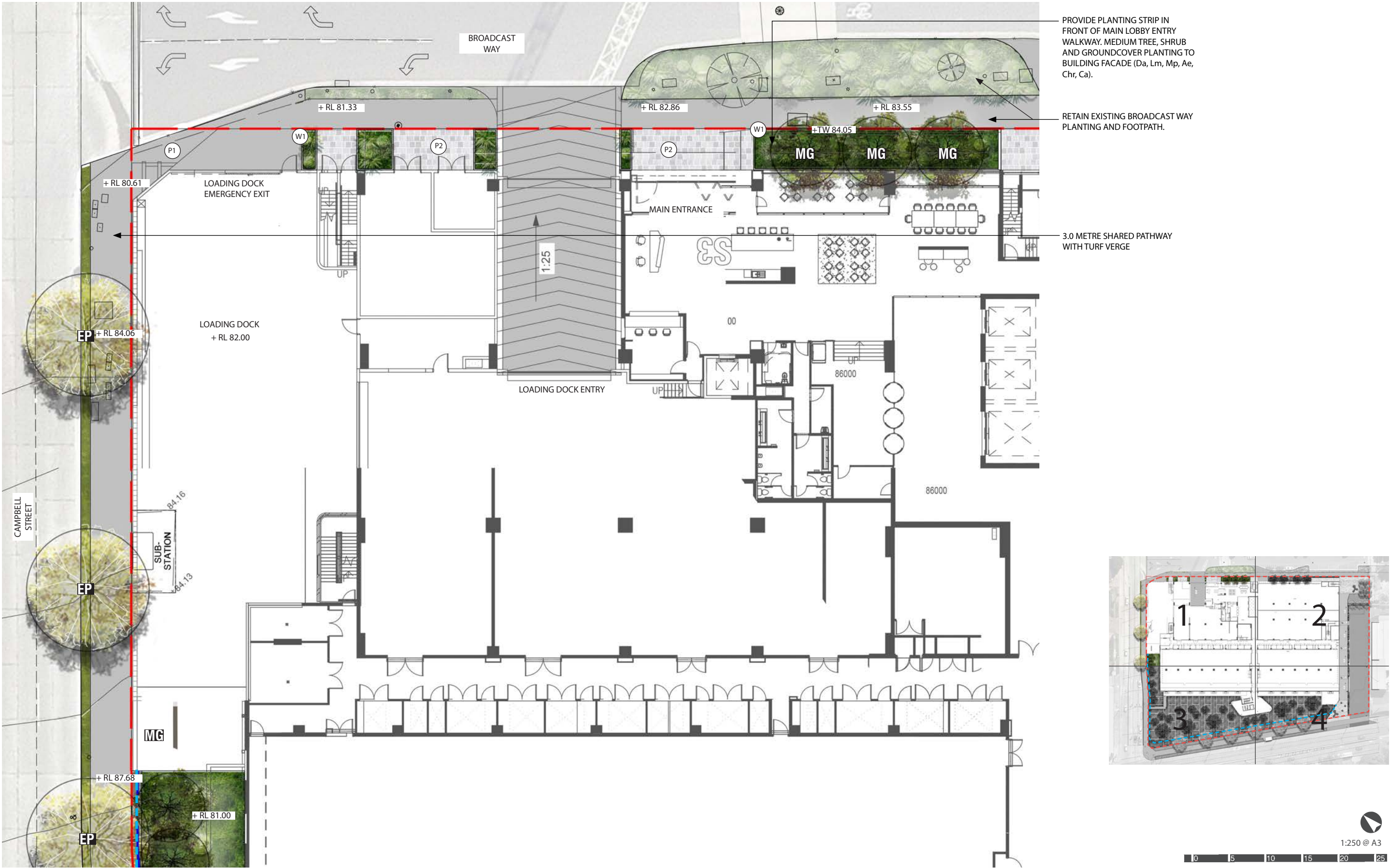
Note: Refer materials strategy page for paving details.

PUBLIC DOMAIN / LANDSCAPE CIRCULATION MAP

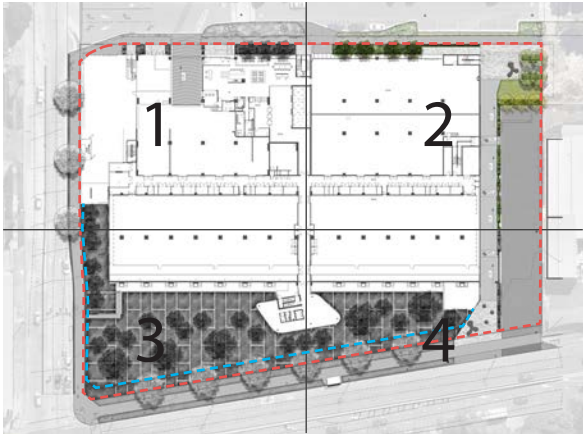
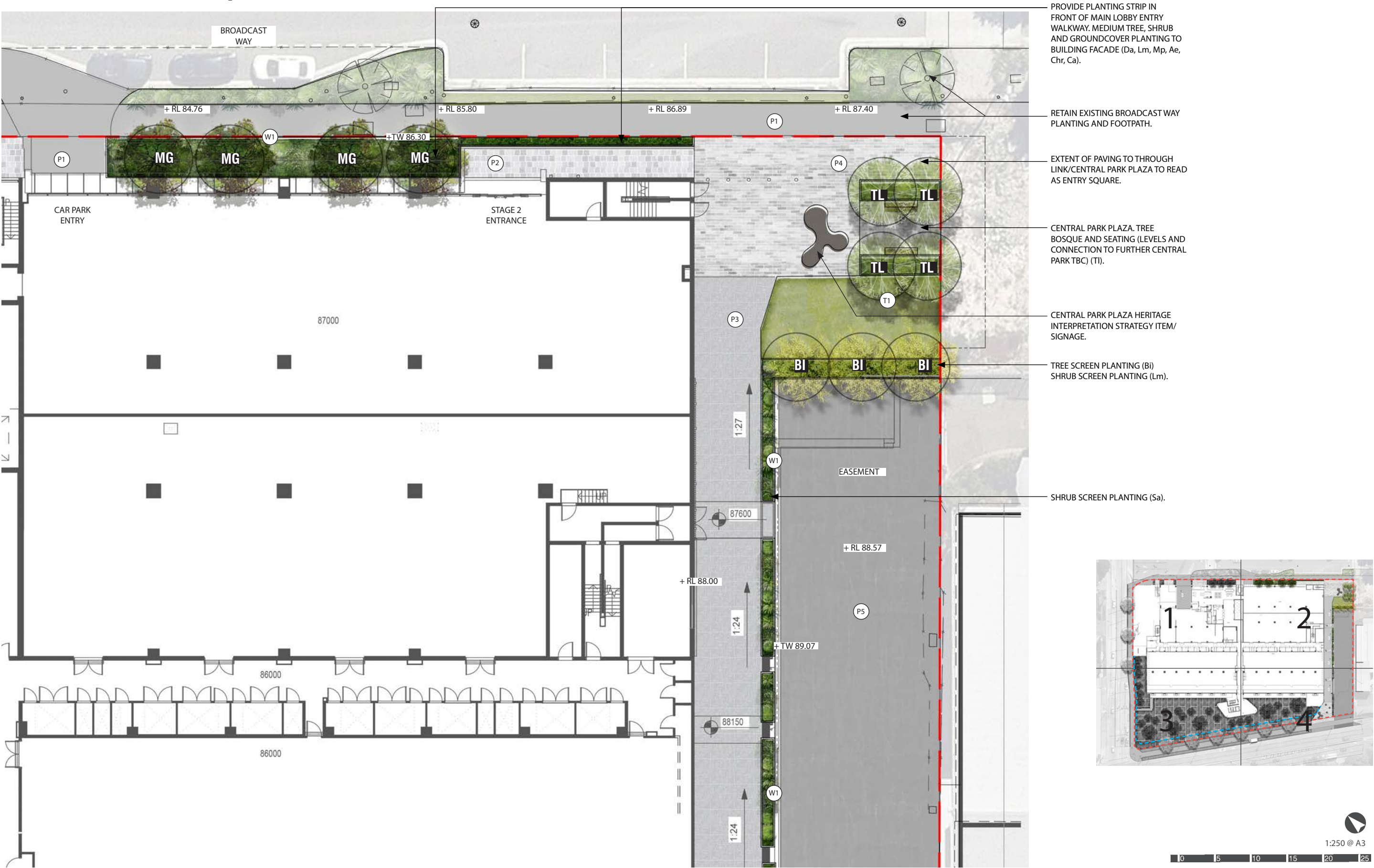


- Legend
- Stage 2 Entry
 - Loading Dock Emergency Exit
 - Main Lobby Entry
 - Loading Dock Access
 - Pedestrian Egress
 - Car Park Entry
 - Public Domain Pathways
 - Through Link Route Connecting To Central Park Plaza
 - Central Park Plaza Entrance
 - Egress

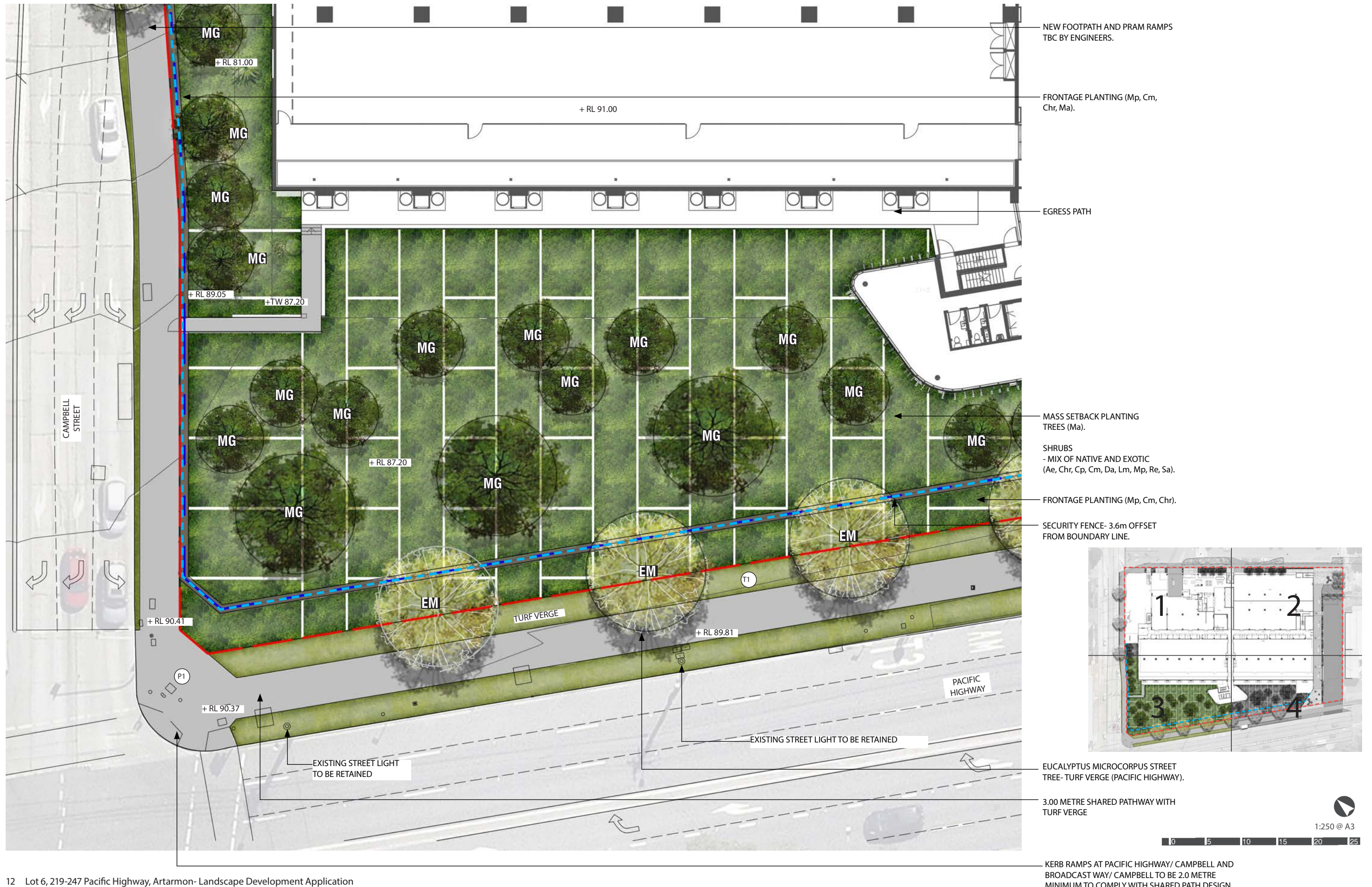
PUBLIC DOMAIN / LANDSCAPE DETAIL PLAN 1



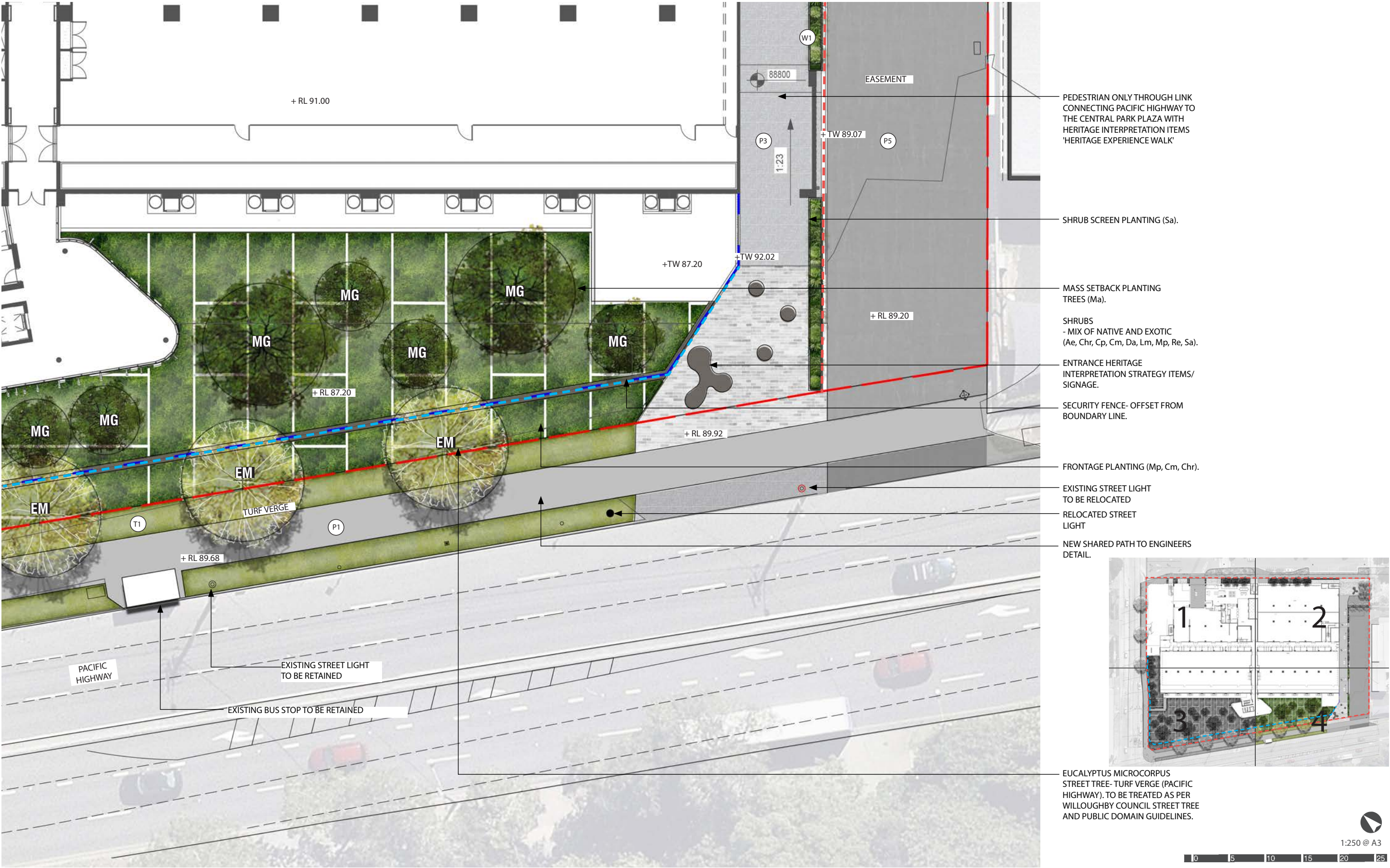
PUBLIC DOMAIN / LANDSCAPE DETAIL PLAN 2



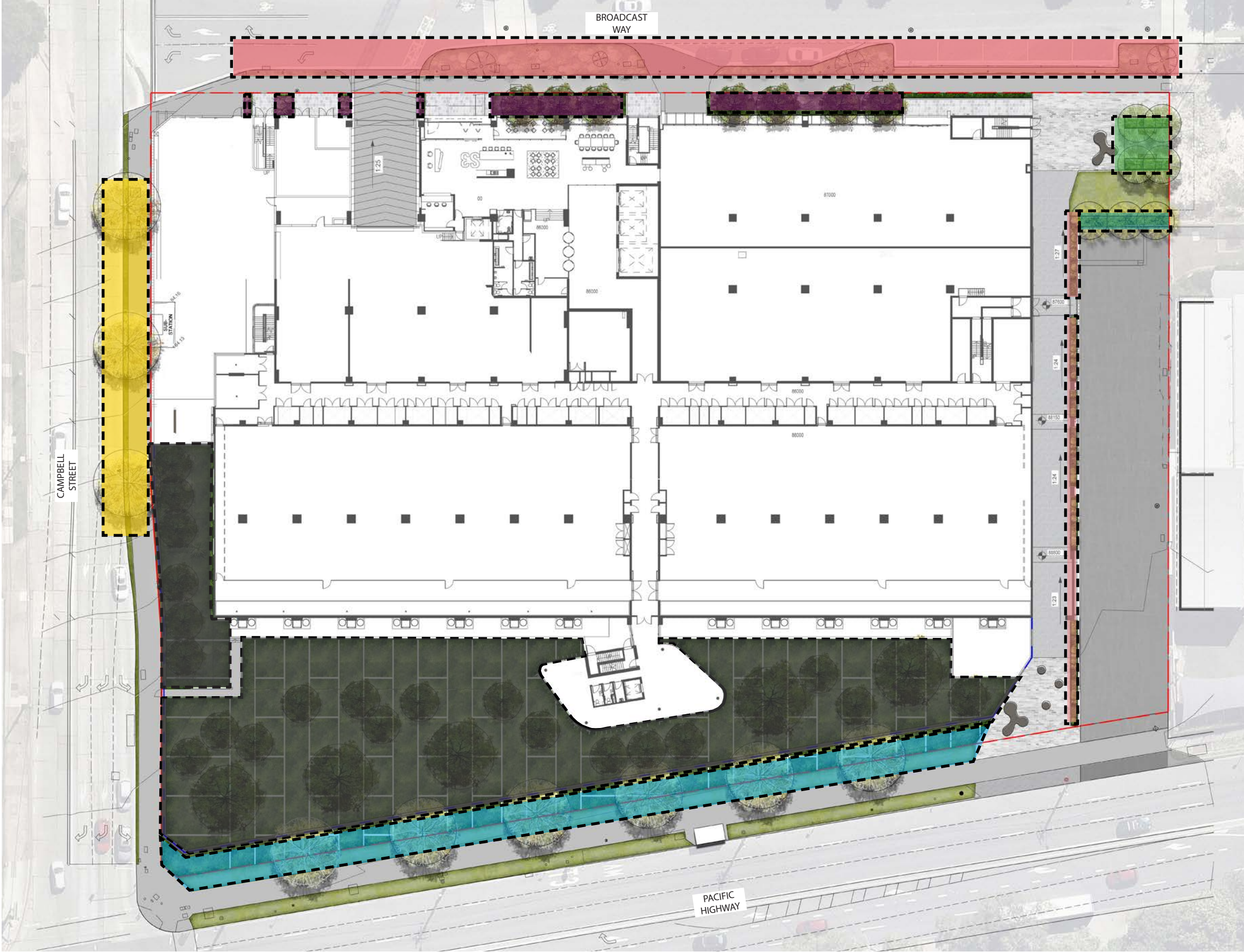
PUBLIC DOMAIN / LANDSCAPE DETAIL PLAN 3



PUBLIC DOMAIN / LANDSCAPE DETAIL PLAN 4



STREET TREE AND PLANTING STRATEGY



Legend

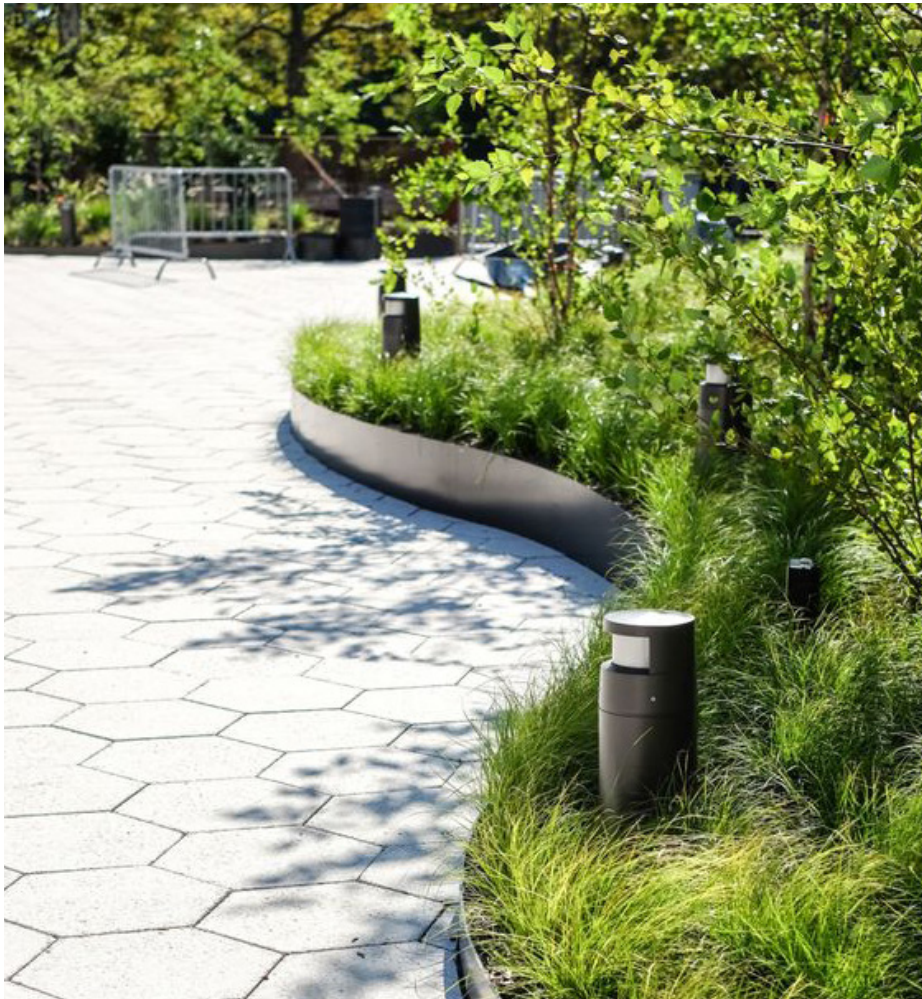
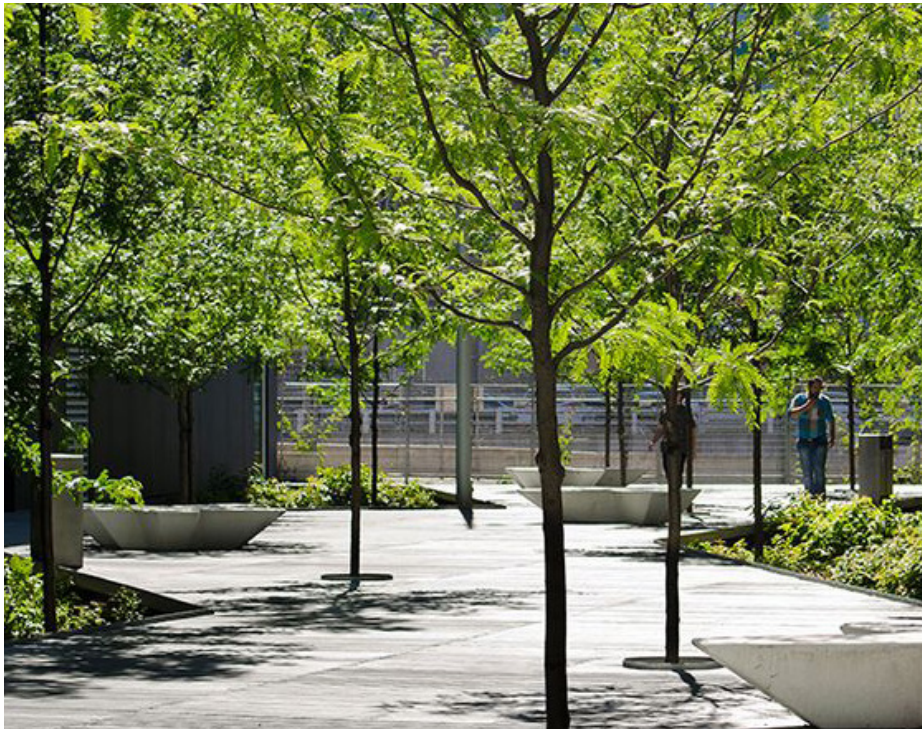
- Existing Vegetation to be Retained
- Pacific Highway Eucalyptus microcorpus Street Tree Planting
- MEDIUM TREE (MA), SHRUB AND GROUND COVER PLANTING TO BUILDING FACADE (Da, Lm, Mp, Ae, Chr, Ca)
- CENTRAL PARK PLAZA. TREE BOSQUE AND SEATING (LEVELS AND CONNECTION TO FURTHER CENTRAL PARK TBC) (TI)
- TREE SCREEN PLANTING (Bi) SHRUB SCREEN PLANTING (Lm)
- SHRUB SCREEN PLANTING (Sa)
- MASS SETBACK PLANTING - TREES (Ma) - SHRUB MIX OF NATIVE AND EXOTIC (Ae, Chr, Cp, Cm, Da, Lm, Mp, Re, Sa)
- Campbell Street Eucalyptus punctata Street Tree Public Domain Planting



1:500 @ A3

0 5 10 15 20 25

PRECEDENT IMAGES



INDICATIVE PLANTING STRATEGY

Plant species have been carefully chosen to form a rich pallet of size, form, colour and texture. The planting design compliments the architecture of the surrounding building particularly at the West of the building where the planting mimics the vertical structures on the building as well as creating an arbour of trees framing the view of the building.

Planting will be designed to define spaces, direct site lines, human movement, provide privacy and screening.

Street trees are informed by the special area controls for Gore Hill Technology Park as provided by Council.

Campbell Street and Pacific Highway street trees to be installed as per Council Guidelines.

Note that 70% of planted area will consist of native species to accord with Aueron Sustainability Checklist and Council's Requirements.

Public Domain				
Code	Trees	Common Name	Mature Height x Spread (m)	Pot Size
Bi	Banksia integrifolia	Coastal Banksia	15x6	100L
Ca	Cupaniopsis anacardioides	Tuckeroo	15x15	200L
Em	Eucalyptus microcorys	Tallowwood	35x25	600L
Ep	Eucalyptus punctata	Grey Gum	35x25	600L
Mg	Magnolia grandiflora	Southern Magnolia	8x3	100L
TI	Tristaniopsis laurina	Kanooka	15x4	100L
Shrubs + Groundcovers				
Ae	Aspidistra elatior	Cast-Iron Plant	1x1.5	200mm
Chr	Callistemon hannah ray	Bottlebrush	4x3	200mm
Cp	Cordyline petiolaris	Broad Leaved Palm Lily	4x2	200mm
Cm	Clivia miniata	Bush Lily	0.5x0.5	200mm
Da	Dichondra argentea	Light Silver Leaved Accent Plant	0.8x1.2	140mm
Lm	Liriope muscari	Lily Turf	1x1	200mm
Mp	Murraya paniculata	Mock Orange	2.5x1.2	200mm
Re	Rhapis excelsa	Broadleaf Lady Palm	4 x 2	200mm
Sa	Syzygium australe	Brush Cherry	5x2.5	200mm

INDICATIVE PLANTING PALETTE

TREES (STREETS + PRIVATE)



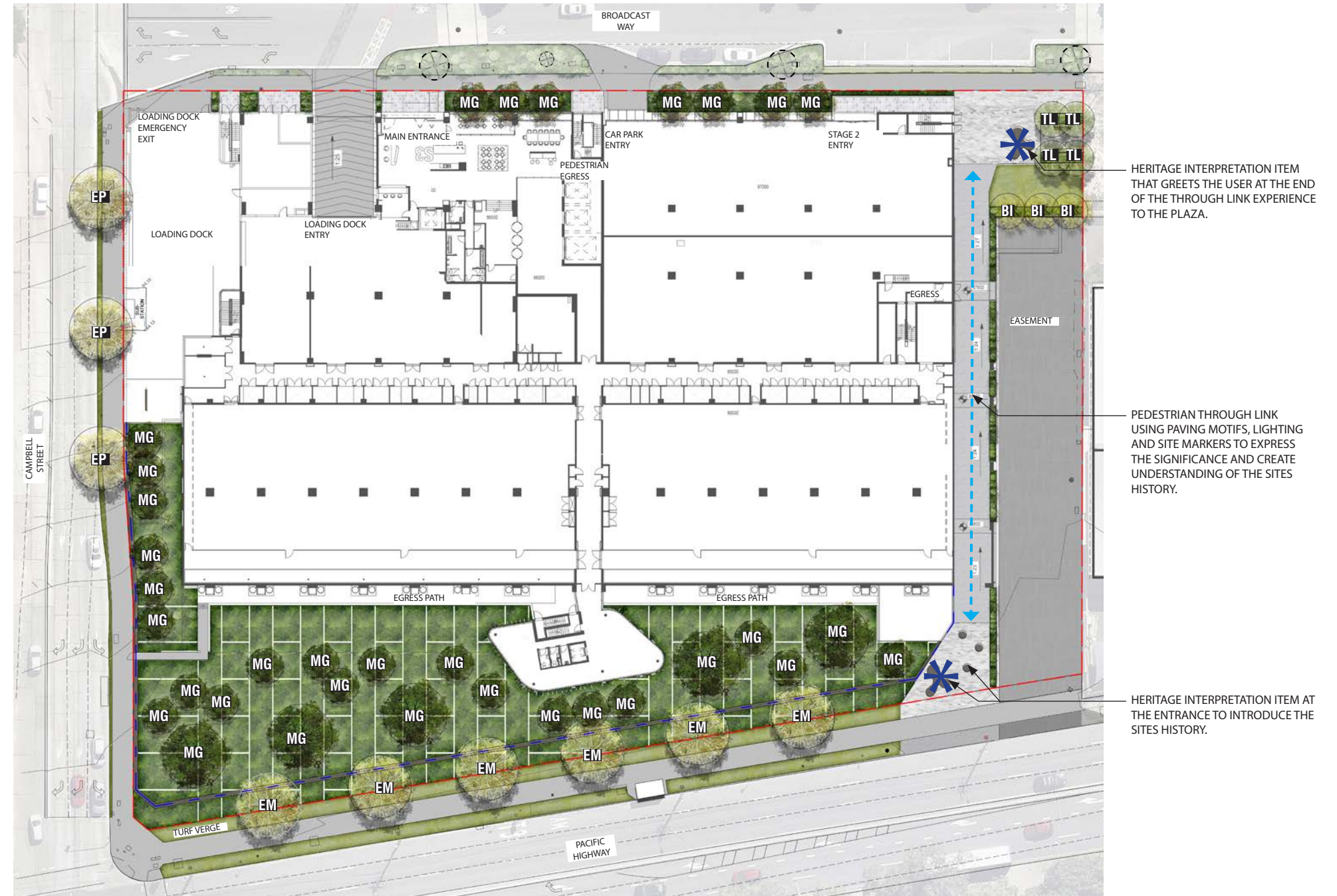
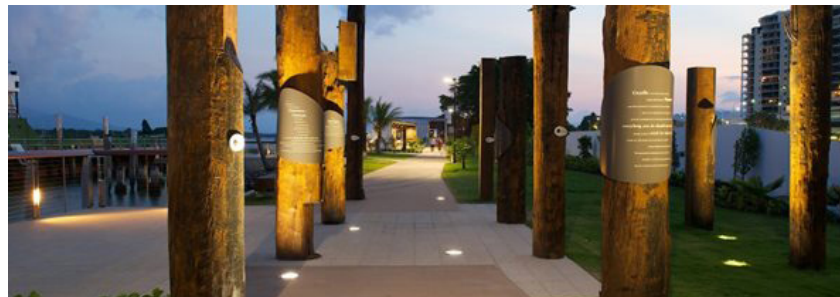
SHRUBS + GROUND COVERS



HERITAGE INTERPRETATION STRATEGY

In coordination with the Urbis Heritage team a Heritage Interpretation Strategy has been developed which serves as a display for the previous use of the site. The interpretation elements are located together, down the Eastern side of the site ensuring the narrative of the sites history is read together in a coherent order and maximises the users understanding of the site and its history.

This Heritage Interpretation Strategy is envisioned as a signage or sculptural heritage item at the entrance of the through link on Pacific Highway and within the central park plaza along Broadcast Way. As well as the use of paving motifs, lighting and site markers down the through link that take the user on an experience through the site informing them of the sites history and significance, aiming to give the idea that this place is something 'special'.



MATERIALS STRATEGY

All paving materials and street furniture would be subject to relevant Australian Standards and comply with City of Willoughby Council's DCP.

Paving will consist of contrasting finishes, textures and materials. Paving sizes and textures will delineate public spaces and accentuate common entrance points and pedestrian linkages. Refer to engineers drawings for finishes of driveways.



In-situ Concrete Paving (with nature verge) - Streetscape

- Natural grey
- Broom finish



Concrete Unit Paving - Lobby Entries

- Flame Exfoliated
- 300 x 150 x 40mm



Large Concrete Unit Paving - Through Link

- Flame Exfoliated
- 600 x 300 x 60mm

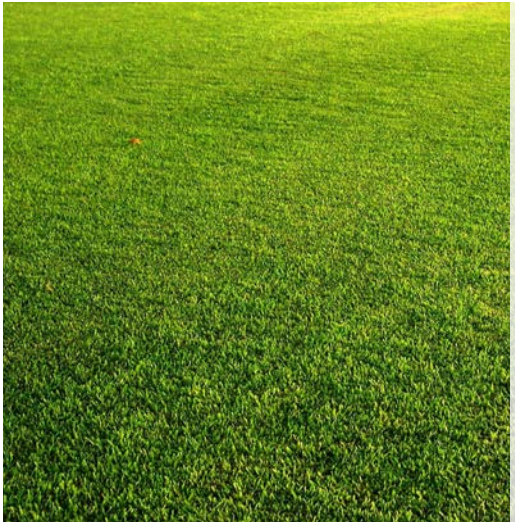


Small Concrete Unit Paving - Plaza Entrance

- Flame Exfoliated
- 200 x 150 x 40mm



Bitumen Road Surface



Sir Walter Soft Leaf Buffalo Turf



Concrete/Wood Seating for Entrance Plaza

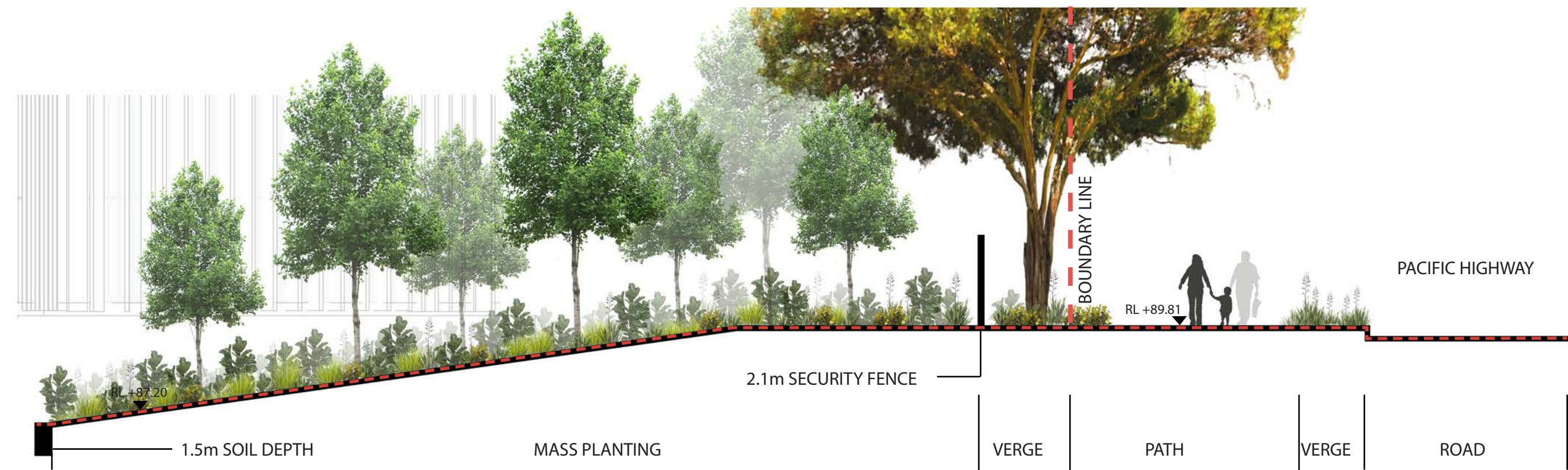


Insitu Concrete Retaining Walls

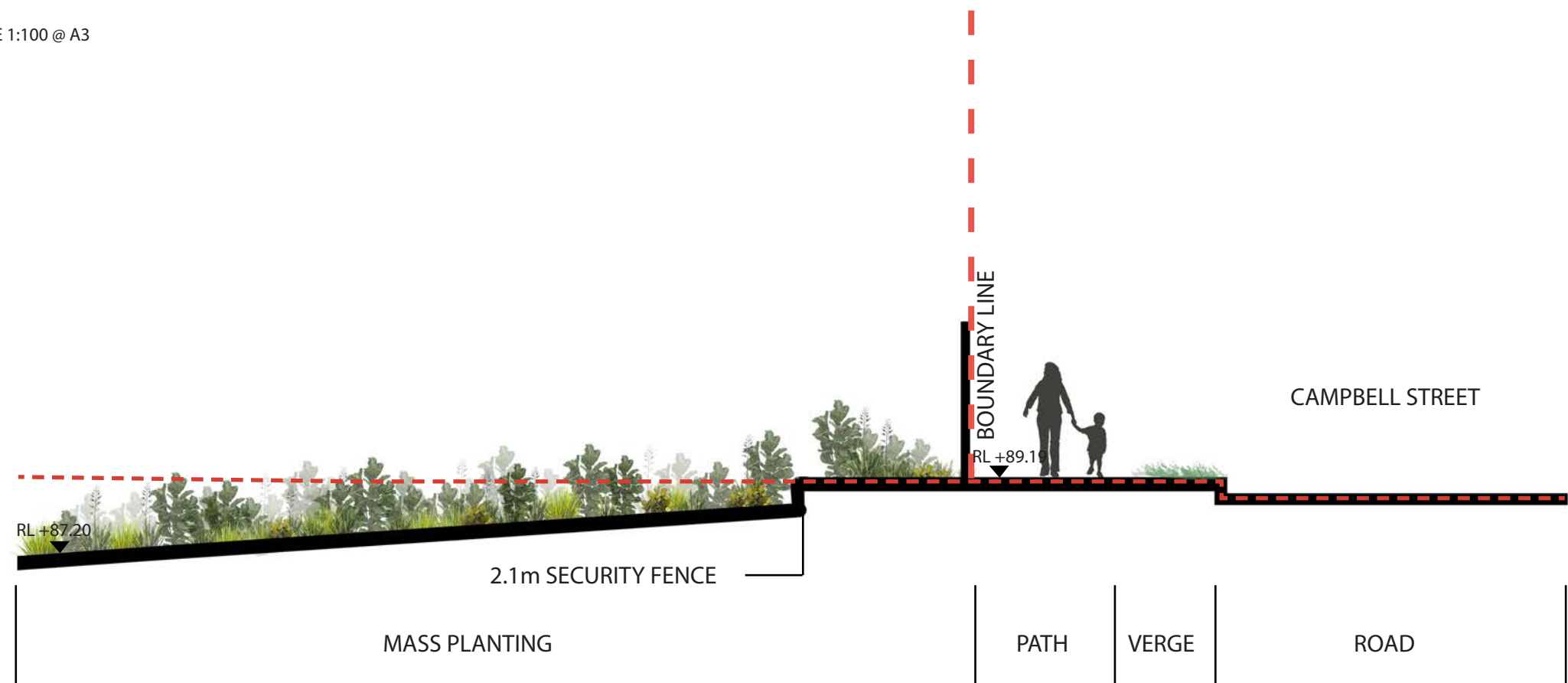


Security Fence

LANDSCAPE DETAIL SECTIONS

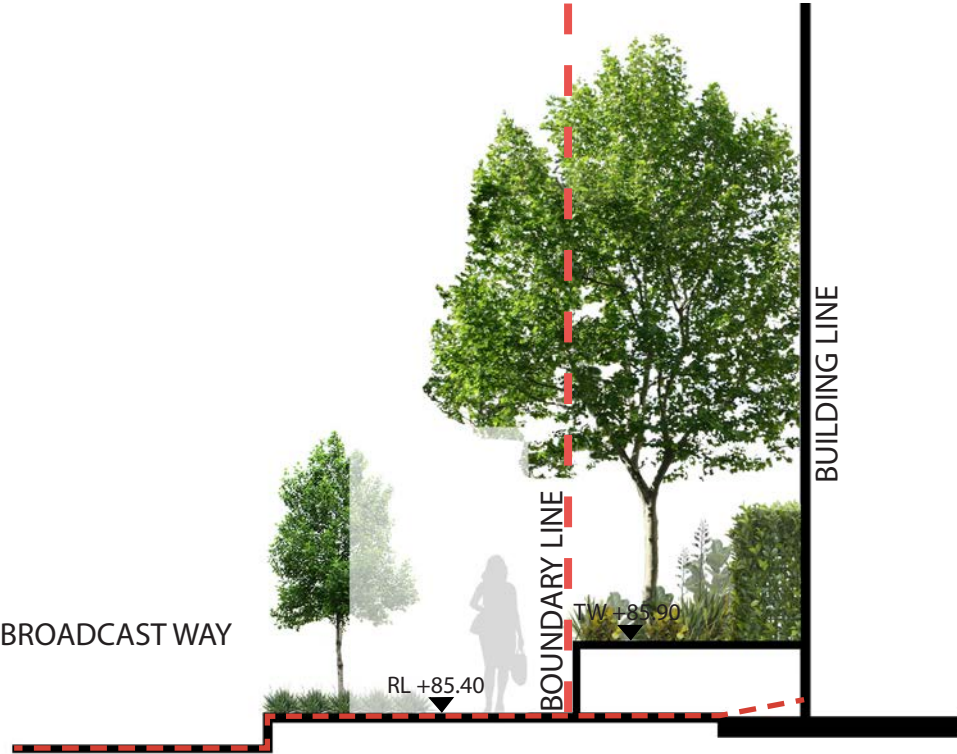


SECTION AA - SCALE 1:100 @ A3



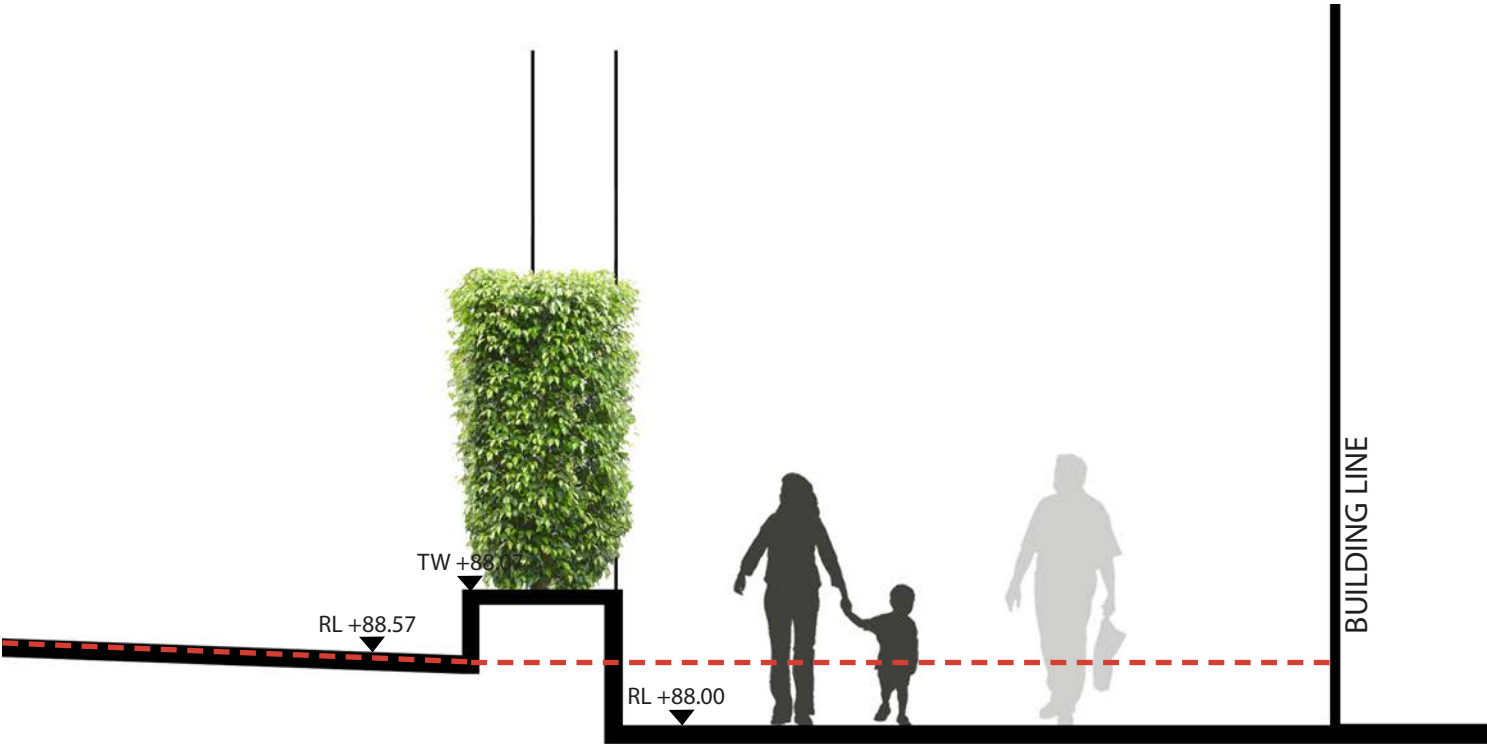
SECTION BB - SCALE 1:100 @ A3

LANDSCAPE DETAIL SECTIONS



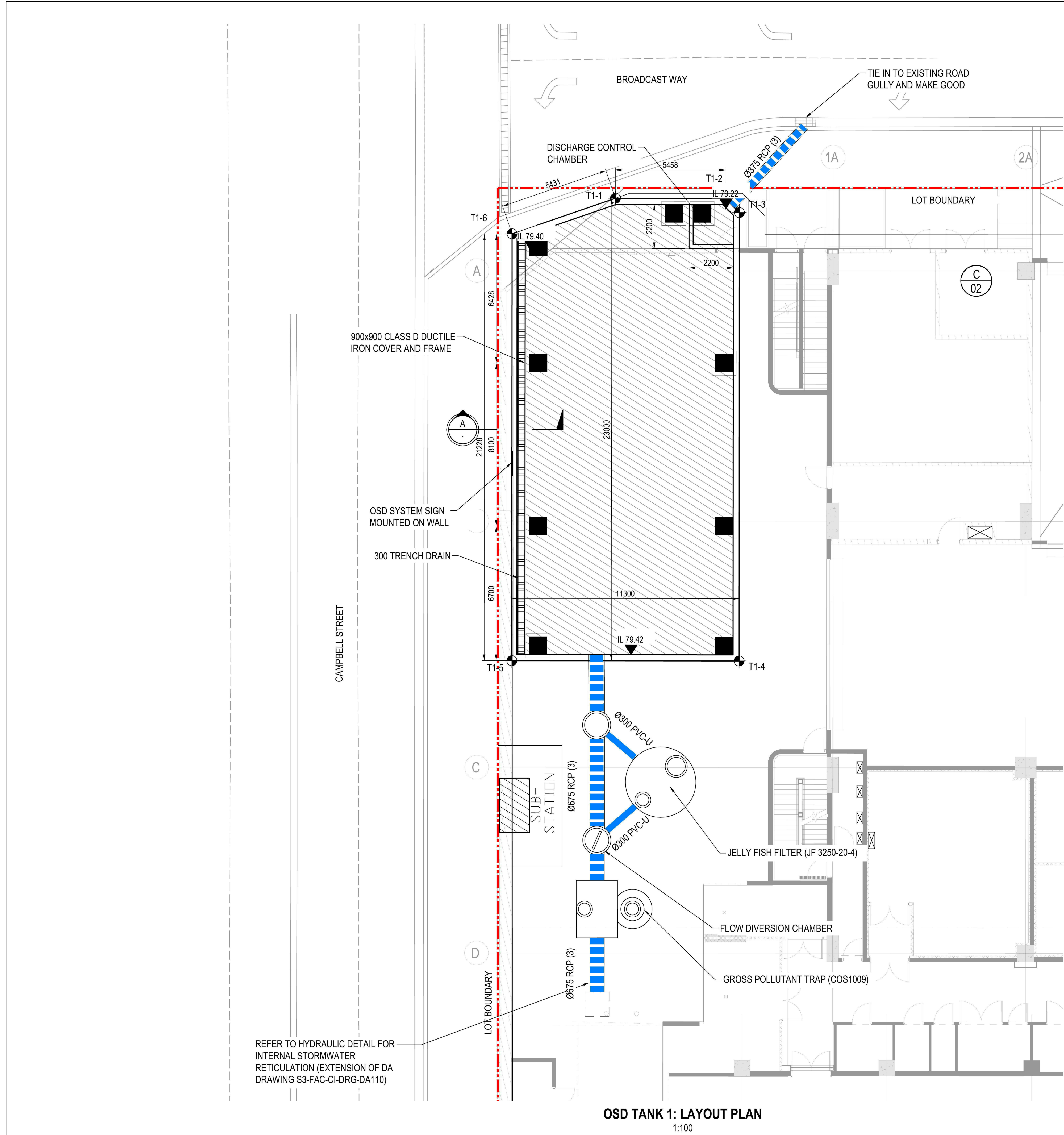
ROAD	EXISTING VERGE	EXISTING PATH	PLANTER
------	-------------------	------------------	---------

SECTION CC - SCALE 1:100 @ A3



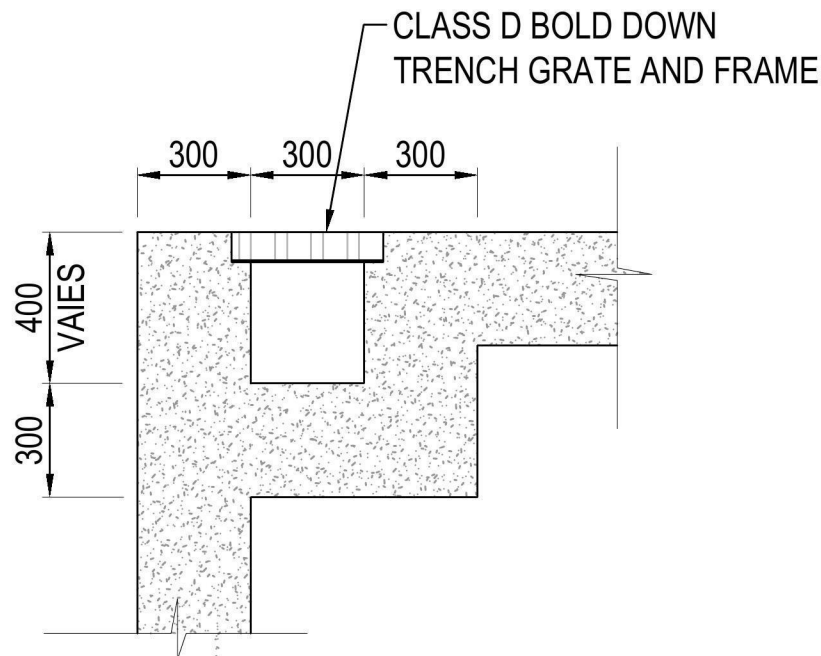
EASEMENT	PLANTER	PEDESTRIAN THROUGH LINK
----------	---------	-------------------------

SECTION DD - SCALE 1:50 @ A3



OSD TANK 1 SETOUT		
POINT	EASTERN	NORTHERN
T1-1	331983.2	6256489.8
T1-2	331986.1	6256485.2
T1-3	331985.9	6256484.2
T1-4	331967.0	6256472.4
T1-5	331961.0	6256482.0
T1-6	331979.0	6256493.2

- NOTES:**
- REFER TO STRUCTURAL DRAWINGS FOR TANK DETAIL AND REINFORCEMENT.
 - REFER TO HYDRAULIC DRAWING FOR ROOF AND SITE DRAINAGE DETAIL.
 - OSD SYSTEM SIGN TO BE 400mm x 200mm ALUMINIUM PLAQUE WITH WORDING: " This is the on- site stormwater detention system required by Willoughby City Council. It us an offence to alter any part of the system without written consent from Council. The registered proprietor shall keep the system in good working order by regular maintenance including removal of debris."



14.04.20
10.03.20
09.08.19

2
1
4

SECTION 4.51 REVIEW
CONTRACT ISSUE
RFL EARLY WORKS TENDER ISSUE

LW
LW
APP

DATE	No.	REVISION HISTORY	APP.

KEY PLAN

200 0 400 800mm

SCALE 1:20

1 0 2 4m

SCALE 1:100

TRUE NORTH

PROJECT NORTH

principle consultant

aurecon

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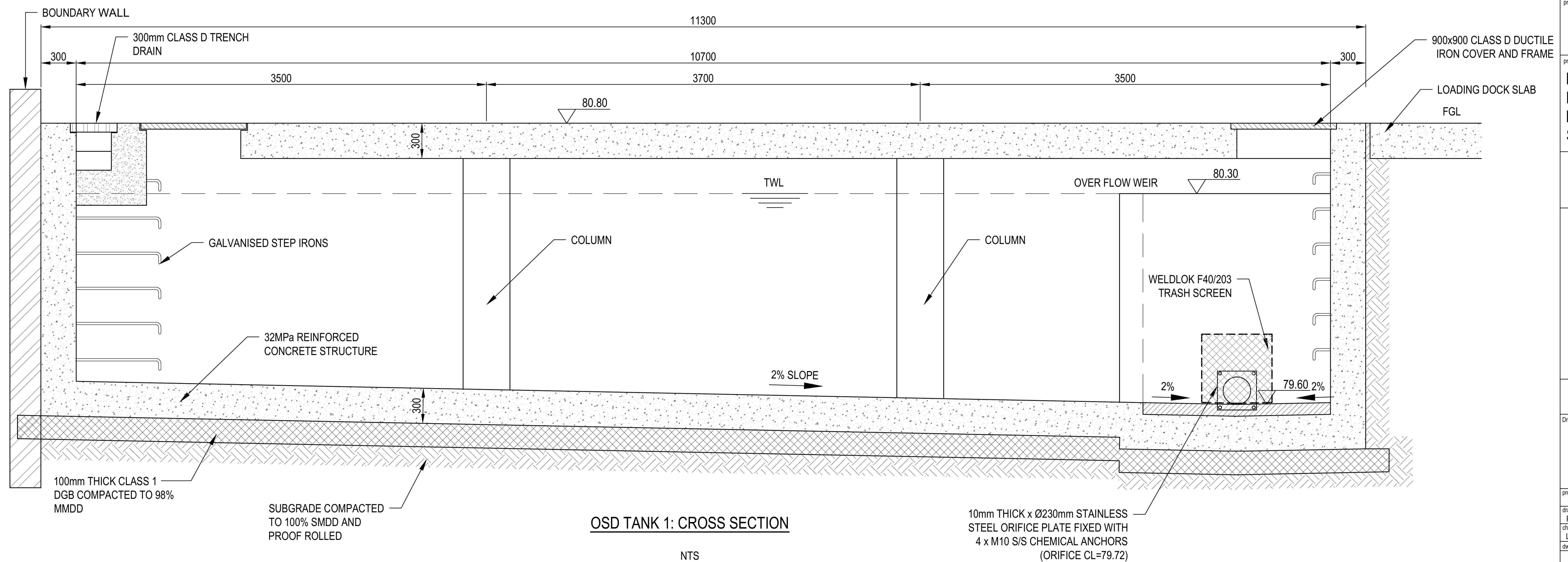
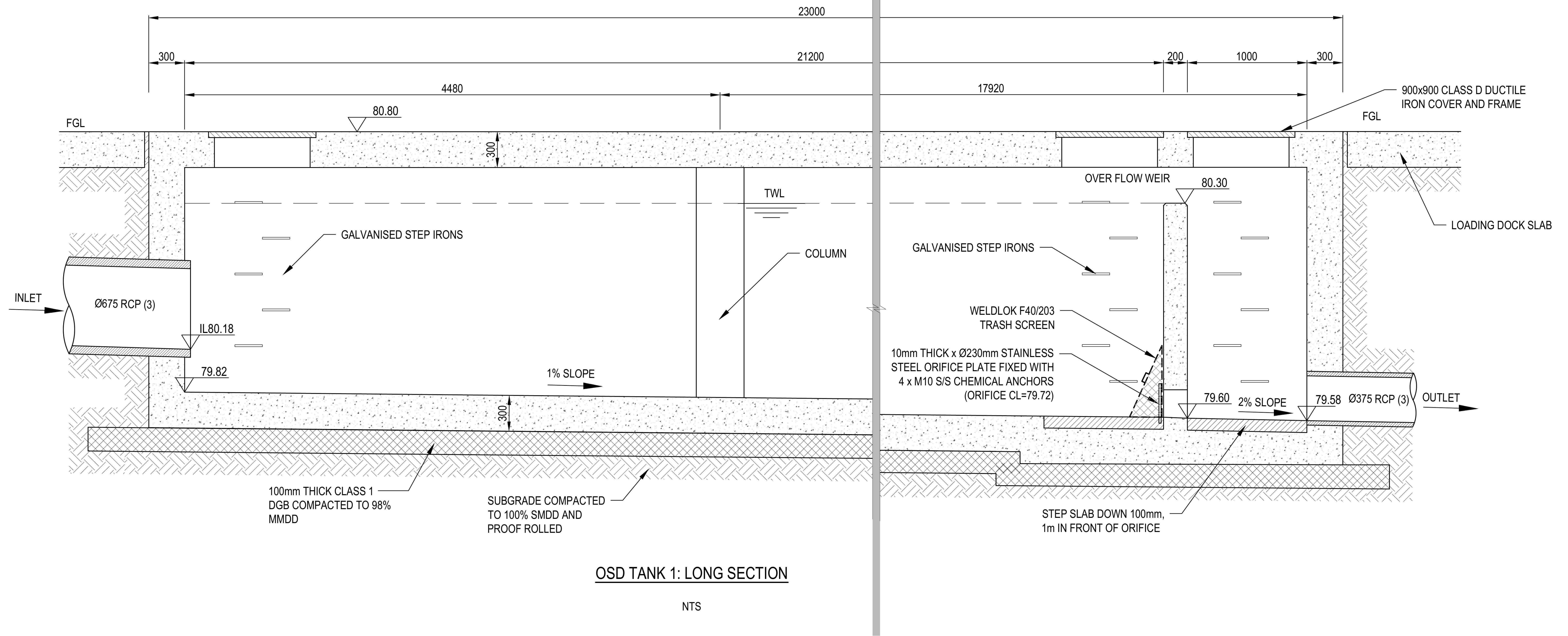
CONTRACT ISSUE
NOT FOR CONSTRUCTION

Drawing title

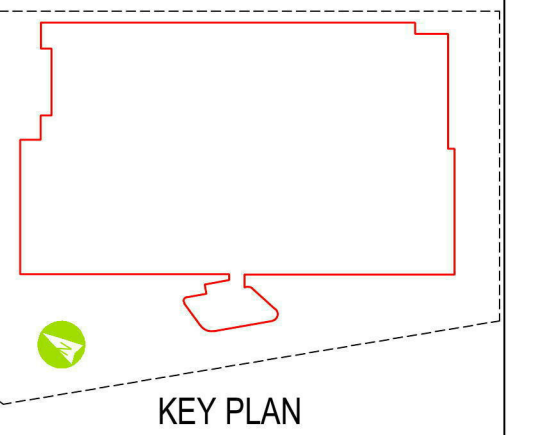
**CIVIL ENGINEERING SERVICES
STORMWATER
OSD TANK 1 LAYOUT PLAN**

project no:	503243	scale:	1:100	A1
drawn:	P.LE	designed:	T.HOANG	
checked:	L.VAN WYK	approved:	L.VAN WYK	
dwg no	S3-FAC-CI-DRG-00-330			rev
				2

16/11/2018 7:29:19 AM



14.04.20	2	SECTION 4.05 REVIEW	LW
06.03.20	1	CONTRACT ISSUE	LW
30.08.19	0	90% EARLY WORKS TENDER ISSUE	LW
DATE	No.	REVISION HISTORY	APP.

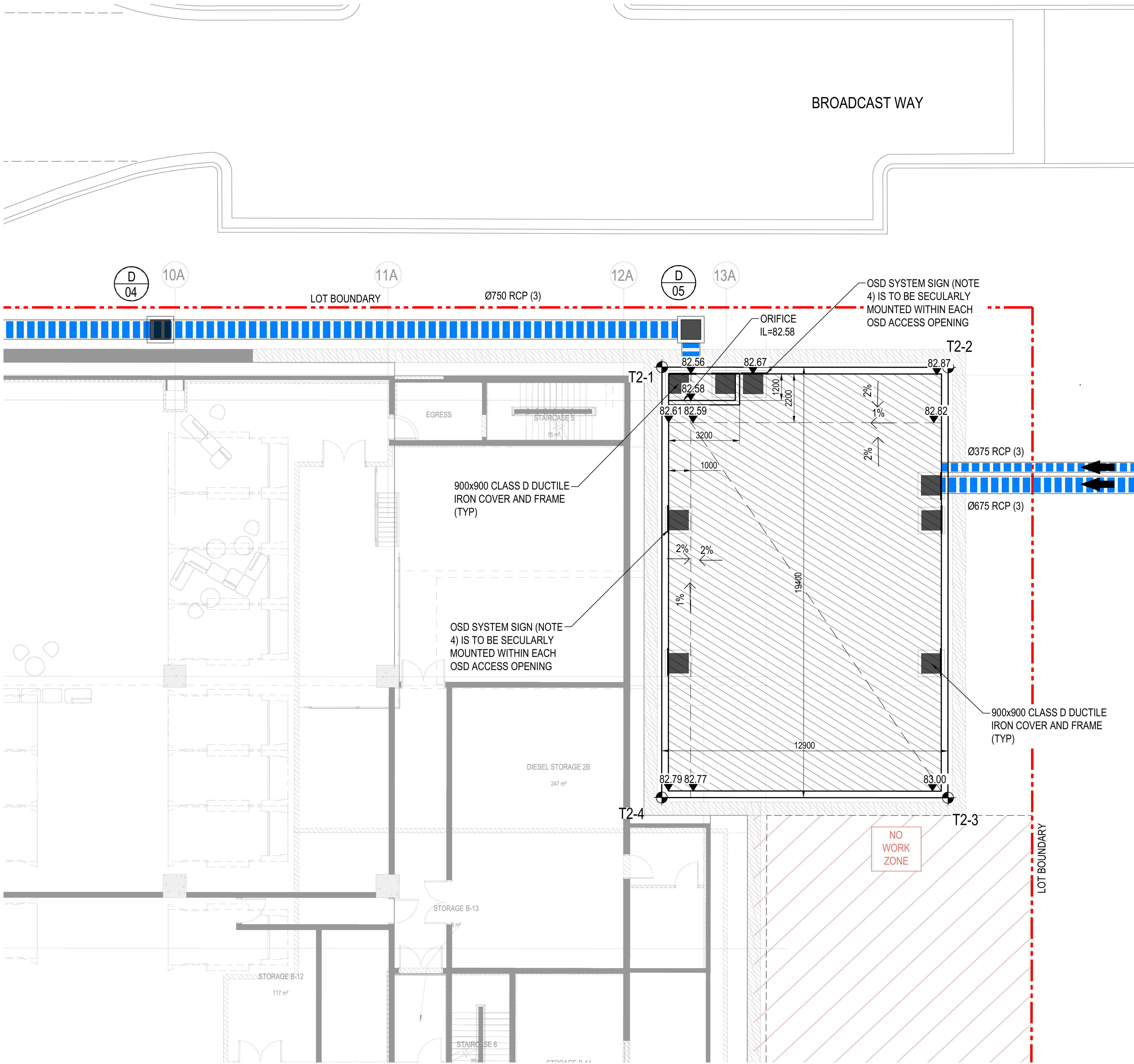


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CONTRACT ISSUE NOT FOR CONSTRUCTION		
Drawing title CIVIL ENGINEERING SERVICES STORMWATER OSD TANK 1 LAYOUT PLAN		
project no: 503243	scale: 1:100	A1
drawn: P.LE	designed: T.HOANG	
checked: L.VAN WYK	approved: L.VAN WYK	
dwg no: S3-FAC-CI-DRG-00-331	rev: 2	



OSD TANK 2: LAYOUT PLAN
1:100

OSD TANK 1 SETOUT		
POINT	EASTERN	NORTHERN
T2-1	332041.0	6256393.4
T2-2	332047.8	6256382.4
T2-3	332031.4	6256372.2
T2-4	332024.5	6256383.1

NOTES:

1. THE CONTRACTOR IS TO ALLOW FOR THE OSD TANK TO BE COORDINATED WITH THE STRUCTURAL AND ARCHITECTURAL DOCUMENTATION.
2. REFER TO STRUCTURAL DRAWINGS FOR TANK DETAIL AND REINFORCEMENT.
3. REFER TO HYDRAULIC DRAWING FOR ROOF AND SITE DRAINAGE DETAIL.
4. OSD SYSTEM SIGN TO BE 400mm x 200mm ALUMINIUM PLAQUE WITH WORDING: " This is the on- site stormwater detention system required by Willoughby City Council. It us an offence to alter any part of the system without written consent from Council. The registered proprietor shall keep the system in good working order by regular maintenance including removal of debris."

14/04/20
16/03/20
03/05/19

2
1
4

SECTION 4.55 REVIEW
CONTRACT ISSUE
90% EARLY WORKS TENDER ISSUE

LW
LW
APP

DATE	No.	REVISION HISTORY	APP.

KEY PLAN

10

2

4m

SCALE 1:100

TRUE NORTH

PROJECT NORTH

principle consultant

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CONTRACT ISSUE

NOT FOR CONSTRUCTION

Drawing title

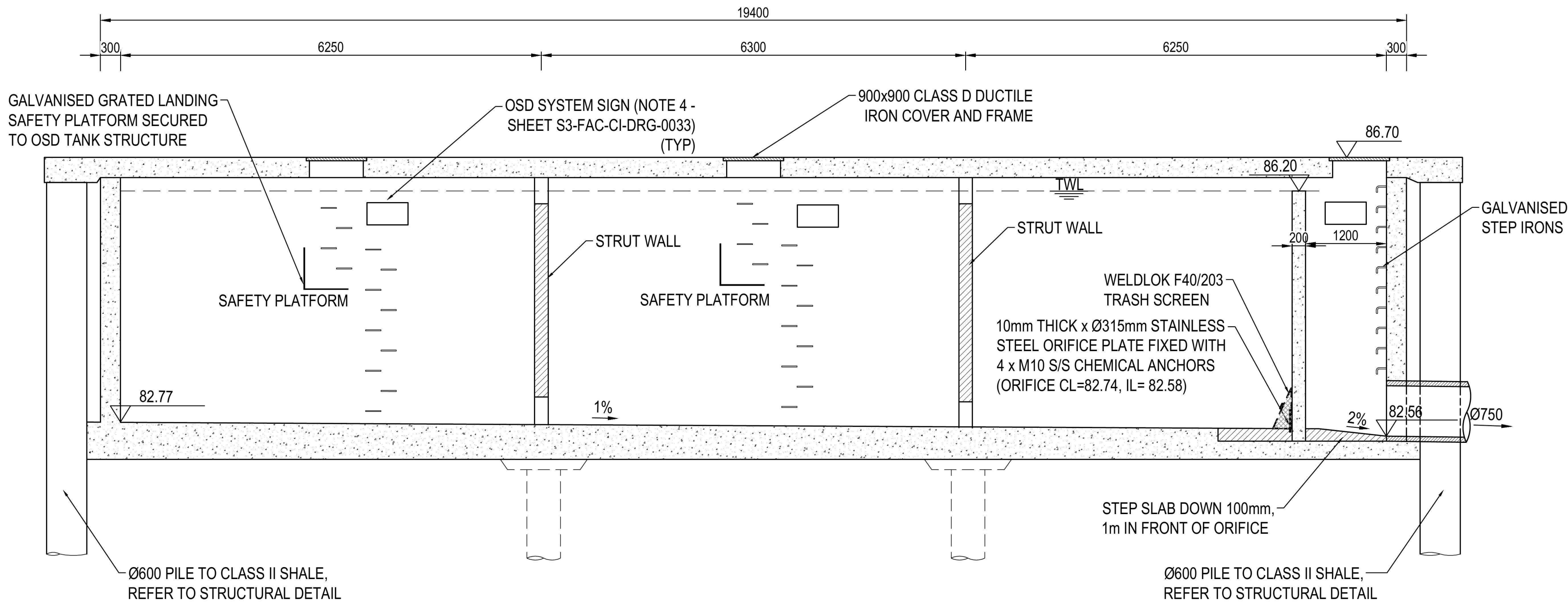
CIVIL ENGINEERING SERVICES
STORMWATER
OSD TANK 2 LAYOUT PLAN

project no:	scale:	A1
503243	1:100	
drawn:	designed:	
P.LE	T.HOANG	
checked:	approved:	
L.VAN WYK	L.VAN WYK	
dwg no	rev	
S3-FAC-CI-DRG-00-335	2	

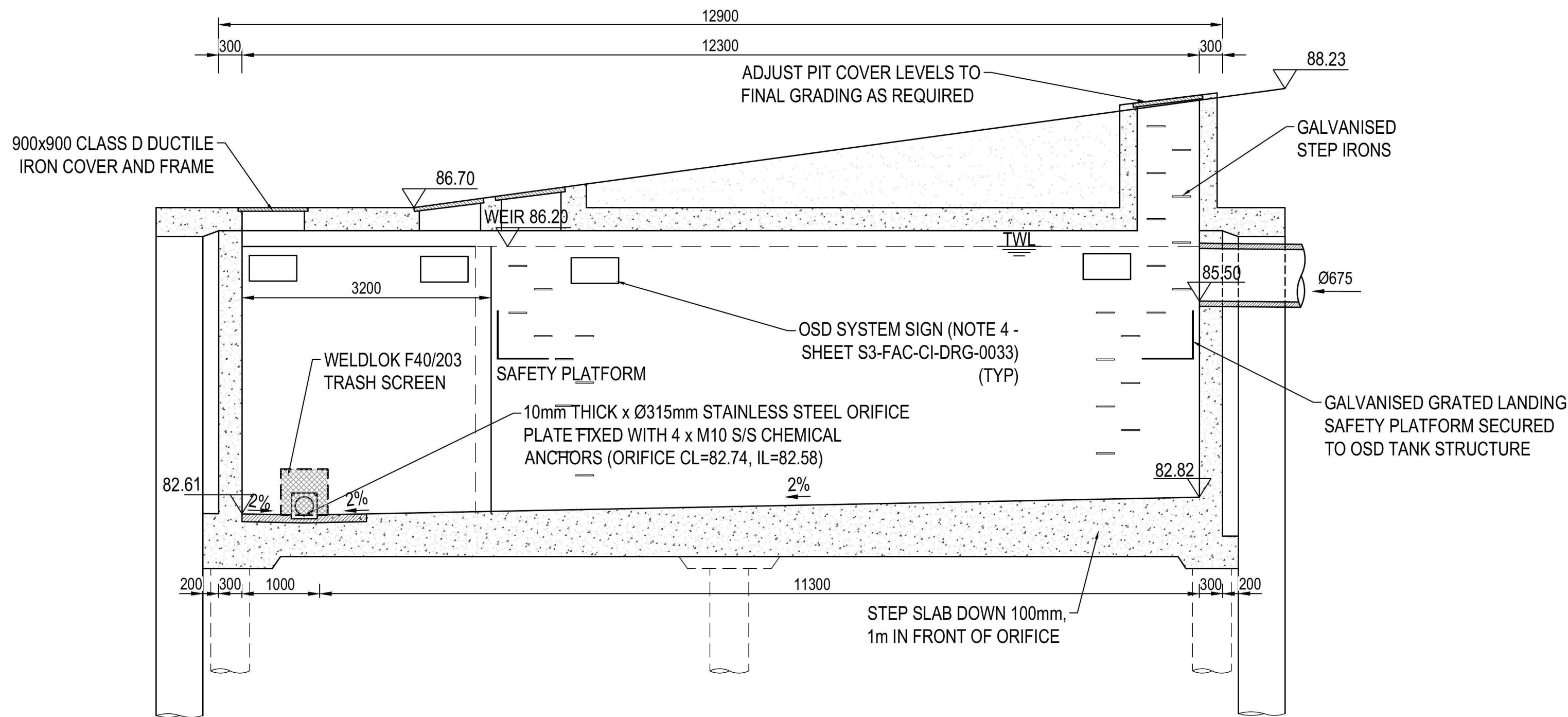
16/11/2018 7:29:19 AM

NOTES

REFER TO STRUCTURAL DRAWINGS FOR REINFORCED CONCRETE, PILING AND SHORE WALL DETAIL.



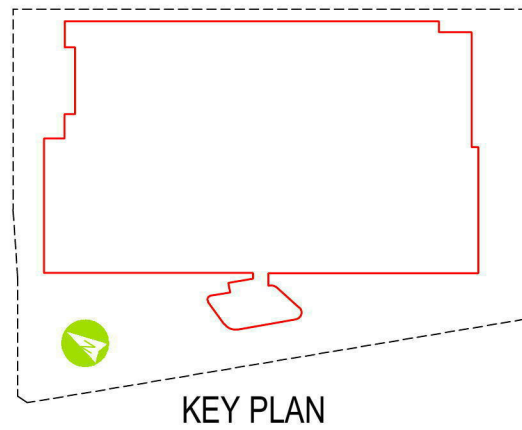
OSD TANK 2 : LONG SECTION
NTS



OSD TANK 2 : CROSS SECTION
NTS

14.04.20	2	SECTION 4.51 REVIEW	LW
10.03.20	1	CONTRACT ISSUE	LW
09.08.19	0	0% EARLY WORKS TENDER ISSUE	

DATE	No.	REVISION HISTORY	APP.
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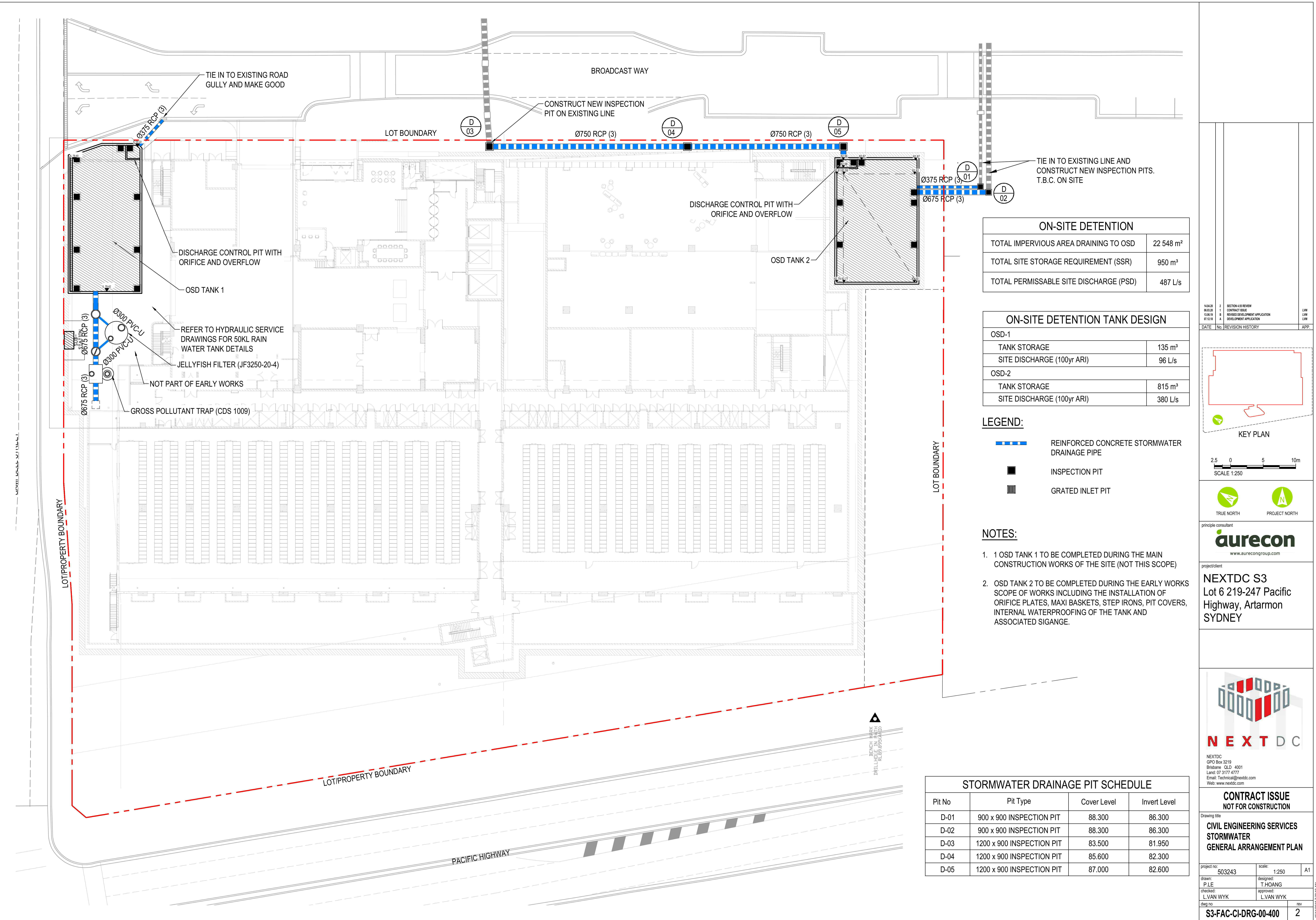
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CONTRACT ISSUE
NOT FOR CONSTRUCTION

Drawing title
CIVIL ENGINEERING SERVICES
STORMWATER
OSD TANK 2 SECTIONS

project no:	503243	scale:	NTS	A1
drawn:	P.LE	designed:	T.HOANG	
checked:	L.VAN WYK	approved:	L.VAN WYK	
dwg no	S3-FAC-CI-DRG-00-336			rev
				2

16/11/2018 7:20:19 AM



ON-SITE DETENTION	
TOTAL IMPERVIOUS AREA DRAINING TO OSD	22 548 m²
TOTAL SITE STORAGE REQUIREMENT (SSR)	950 m³
TOTAL PERMISSABLE SITE DISCHARGE (PSD)	487 L/s

ON-SITE DETENTION TANK DESIGN	
OSD-1	
TANK STORAGE	135 m³
SITE DISCHARGE (100yr ARI)	96 L/s
OSD-2	
TANK STORAGE	815 m³
SITE DISCHARGE (100yr ARI)	380 L/s

LEGEND:	
	REINFORCED CONCRETE STORMWATER DRAINAGE PIPE
	INSPECTION PIT
	GRATED INLET PIT

- NOTES:**
- 1 OSD TANK 1 TO BE COMPLETED DURING THE MAIN CONSTRUCTION WORKS OF THE SITE (NOT THIS SCOPE)
 - 2 OSD TANK 2 TO BE COMPLETED DURING THE EARLY WORKS SCOPE OF WORKS INCLUDING THE INSTALLATION OF ORIFICE PLATES, MAXI BASKETS, STEP IRONS, PIT COVERS, INTERNAL WATERPROOFING OF THE TANK AND ASSOCIATED SIGANG.

STORMWATER DRAINAGE PIT SCHEDULE			
Pit No	Pit Type	Cover Level	Invert Level
D-01	900 x 900 INSPECTION PIT	88.300	86.300
D-02	900 x 900 INSPECTION PIT	88.300	86.300
D-03	1200 x 900 INSPECTION PIT	83.500	81.950
D-04	1200 x 900 INSPECTION PIT	85.600	82.300
D-05	1200 x 900 INSPECTION PIT	87.000	82.600

14.04.20
06.03.20
13.06.19
07.12.18

2
1
2
4

SECTION 4.05 REVIEW
CONTRACT ISSUE
REVISED DEVELOPMENT APPLICATION
DEVELOPMENT APPLICATION

LWW
LWW
LWW
LWW

DATE

No.

REVISION HISTORY

APP.

2.50
0
5
10m

SCALE 1:250

TRUE NORTH

PROJECT NORTH

principle consultant

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CONTRACT ISSUE
NOT FOR CONSTRUCTION

Drawing title
CIVIL ENGINEERING SERVICES
STORMWATER
GENERAL ARRANGEMENT PLAN

project no:
503243

scale:
1:250

A1

drawn:
P.LE

designed:
T.HOANG

checked:
L.VAN WYK

approved:
L.VAN WYK

dwg no

rev

S3-FAC-CI-DRG-00-400

2

18/11/2018 7:29:19 AM

